

Sheridan Avenue Streetscape Master Plan

July 2012



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SECTION 1

Project Background, Process, Goals and Economic Benefits





Western Themed Approach

- Integrate 'sophisticated' western theme and casual feeling
- Authentic/genuine west
- Rodeo celebration
- 'Cowboy' life
- Mining, railroad, guest ranches
- Outdoor activities/lifestyle/wildlife

KEY CRITERIA FOR STREETSCAPES

The streetscape project needs to adhere to guiding principles or criteria that defines great streets. Streetscapes are often considered either roadway improvements with sidewalk or street improvements that focus on creating a livable, successful, and healthy environments. Downtowns with streetscapes based on the following criteria thrive, and are successful places for residents, visitors and business'. The key criteria for successful streetscapes are as follows:

1. ACCESSIBLE for all.
2. Provide visibility and effective lighting for safety
3. Facilitate safe pedestrian movement
4. Provide community identity
5. Respect and celebrate historic surroundings
6. Allow for flexibility and future change of businesses
7. Provide the capacity for gathering and event areas
8. Allow areas to function with year round appeal and use
9. Create easily maintained areas
10. Create places for people
11. Create balance of vehicular and pedestrian spaces
12. Support and stimulate business growth.

ECONOMIC BENEFITS

The above mentioned goals aim to create a livable downtown area that encourages people to visit, stay longer, and enjoy the downtown experience. Capital improvements in downtown areas also act as a catalyst, supporting and improving the robustness of the economy. An increase in visitors to the downtown area has further boosted the local economy. Business has improved and net sales tax revenue has increased. Business owners, located along Sheridan Avenue, have documented a significant revenue increase since the completion of the streetscape improvements in 1985. This master plan builds upon the existing foundation to provide a design that will allow for increased business, retail and restaurants in downtown Cody.

While the objective of creating a liveable and enjoyable downtown experience is evident, there are relatively few economic studies of the benefits. Evidence has been explored by Urban Forestry, (http://depts.washington.edu/hhwb/Thm_Economics.html), that analyzes the improvements of downtown based on street trees and vegetation. One of the main improvements always proposed in streetscape projects is the introduction of street trees and vegetation to bring life to such urban areas. In creating liveable streetscapes, vegetation plays a key role in creating a street with life and attraction. The study conducted by the University of Washington, states that such improvements of street trees and vegetation typically results in the following:

- The presence of larger trees in yards and as street trees can add 3% to 15% to home values throughout neighborhoods.
- Averaging the market effect of street trees on all house values across Portland, Oregon yields a total value of \$1.35 billion, potentially increasing annual property tax revenues \$15.3 million.
- Rental rates were 7% higher rental rates for commercial offices having high quality landscapes.
- Shoppers claim that they will spend 9% to 12% more for goods and services in central business districts having high quality tree canopy.
- Shoppers indicate that they will travel greater distance to visit a district having high quality trees, and will spend more time there once they arrive.

The study provides references for how these numbers were reached and the quantifying methods used. Of specific interest is the economic impact vegetated streets have on consumer spending, and rental prices. An important conclusions from this study, is the data shows that healthy streetscapes contribute to a more robust local economy.

Sheridan Avenue Streetscape Master Plan

Another online study from planetizens.com (<http://www.planetizen.com/node/39815>), titled “Rethinking the Street Space: Why Design Matters”, explores urban economies and improved property values/increased retail sales due to street beautification projects. The article states:

“that appropriately-placed pedestrian zones in city centers boosted foot traffic by 20-40% and retail sales by 10-25% in the UK. A nationwide study in the US reported a property value increase of 30% after new traffic calming measures were installed. In New York, apartment prices near community gardens are 7% higher than comparable apartments in the same neighborhood. Since the City of Mountain View, California widened and enhanced its main downtown street by improving sidewalks, removing parking spaces, and planting trees, the street has drawn \$150 million in private investment in residential and office units and has become a regional attraction. Understanding that it takes money to make money, cities are investing in street beautification projects.”

Streetscape investment has proven to spur economic investment in vacant parcels, renovations, increase business, and increase tax revenue for cities. In Fort Collins, Colorado, five alleys were enhanced as shared pedestrian and vehicle zones, while still maintaining back of house uses. As business frontage expansion was limited, the improvements allowed an opportunity for expansion at the rear. In the eighteen months since completion, three new businesses have occupied on-alley vacant buildings, three businesses have created patios for their patrons, and in all instances business revenue has increased between 150-200%. While an alley is not a direct example of a streetscape improvement, it illustrates that alleys can become economic catalysts, therefore streetscapes, the real public frontage, are extremely valuable economic drivers.

In the study Economic Effects of Traffic Calming on Urban Small Businesses, by Emily Drenan, for the Department of Public Administration at the San Francisco State University in December, 2003, Ms Drenan uses streetscape examples as case studies from another study called “Local Government Commission’s Center for Livable Communities”, 2000. The case example was for Lodi California, population 50,000. The City invested \$4.5 million on public-private, pedestrian-oriented project, including a retrofit of five main street blocks from building face to building face. On the main School Street, sidewalks were widened, curbs bulbed-out at intersections, and colored paving stones were used in new sidewalks and streets. A striking gateway was installed, as well as 140 street trees, lighting, benches, and other streetscape amenities. The city credits the pedestrian improvements, as well as economic development incentives, with the 60 new businesses, the drop in the vacancy rate from 18% to 6%, and the 30% increase in downtown sales tax revenues since work was completed in 1997. (Local Government Commission’s Center for Livable Communities, 2000, p. 3).

A streetscape in West Palm Beach was also improved in another case study from the same publication. In this case “Five years after beginning a major project, commercial vacancy rates in the area decreased from 70% to 20%, while commercial rents rose from \$6/sq. ft. to \$30/sq. ft. Property values increased from a range of \$10-\$40/sq. ft to \$50-\$100/sq. ft. The project attracted approximately \$350 million in private investment. All of this was achieved while maintaining the same motor vehicle traffic volumes.”

Similarly, a study of California’s “Main Streets Program” (Eichenfeld and Associates and the Local Government Commission, 2002) found that the average town participating in the program saw:

- Retail sales increase 105%
- Commercial property values increase 167%
- Storefront vacancy rates decline 76%
- Retail and office rental rates increase 65% and 71%, respectively
- \$1 invested in the program yield \$7.13 in public and private improvements

There is overwhelming evidence that capital investments of streetscape improvements improve the economic viability of downtown areas, and increase the tax base for Cities, and Towns across the country. Many examples pertain to Cities that do not have the additional benefit of the summer tourist surge in Cody, which will increase the streetscape investment benefit.



The alleyway enhancement investment produced a myriad of opportunities for business. This business turned an area for trash and parking into a beer garden/patio and doubled the amount of space for customers. Their business grew by 200% and City sales tax increased as a result.



SECTION 2

Project Extents and Existing Conditions





PROJECT EXTENT & EXISTING CONDITIONS

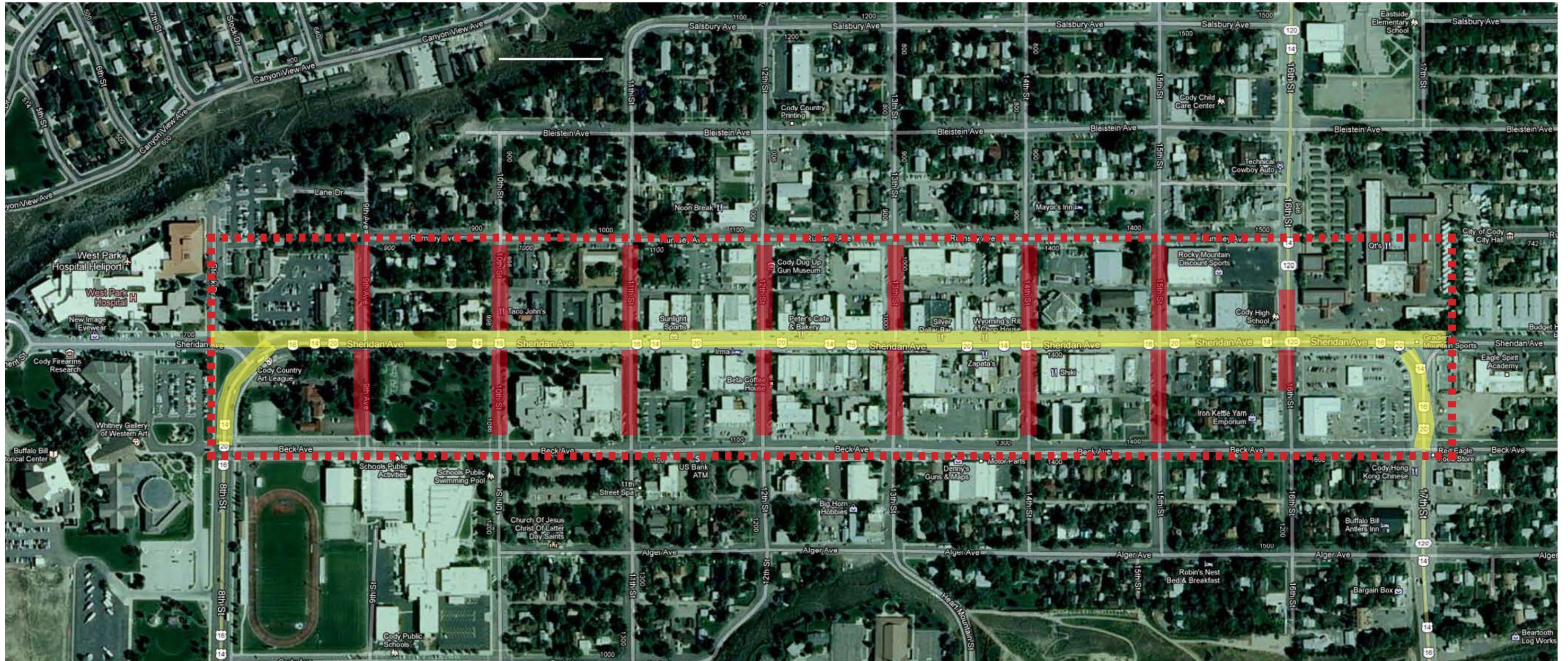
As outlined in the project background, this master plan provides an overall strategy to create a pedestrian friendly streetscape, as well as a safer, more enjoyable downtown environment from 8th Street to 17th Street. While the primary focus of the study is the public domain of Sheridan Avenue, the study also identifies improvements to the northern and southern blocks on the cross streets which would improve the functionality of the downtown area. The right-of-way of Sheridan Avenue and the cross streets between 8th Street and 17th Street define the study area of this master plan. The western edge to the study is 8th Street and Beck Avenue and eastern extent of the study is 17th Street and Beck Avenue. Beck and Rumsey Avenue create the northern and southern boundaries. The extent is shown on the project extents plan on page 7. In this plan, streetscape improvements are limited to the public right-of-way. In some instances, areas of improvement or opportunities have been developed for parcels outside the right-of-way, identified as public/private partnerships. These additional areas are identified to assist in developing improvements to the street that benefit the streetscape and the parcel owner. Additionally, City Park, and the adjacent parcel that houses the Visitor Center and Chamber of Commerce were included in the study. While this design investigates improvements, further study with community input would be required for this portion of the project.

EXISTING LAND USES

The streetscape study area includes a myriad of land uses, both private and public. The western edge is anchored by the famous Buffalo Bill Historical Center. Travelling east along the Sheriddan Avenue, uses include office, business, a public park, the County Courthouse, accommodations, a commercial core, and general services (service stations, fast food, and other accommodations). Either side of the commercial core is driveway and access focused business. Between 11th Street and 13th Street, there is continuous building frontage along the street, as well as a primarily uninterrupted sidewalk. The north side of the block (from 13th Street to 14th Street), has a similar condition to the commercial core, while the south side (from 13th Street to 14th Street) does not follow this pattern. The land use changes on the southern side to a series of fast food establishments. The eastern portion of the study area encompasses the intersection at Hwy 120 and Sheridan Avenue. The land use surrounding this area includes accommodations on the north side and a large car dealership on the south side which extends from 16th Street to 17th Street.

EXISTING CONDITIONS - IMAGES FROM JANUARY 2012





LEGEND

- PROJECT BOUNDARY
- PRIMARY STUDY AREA - SHERIDAN AVENUE WYDOT RIGHT OF WAY
- EXTENDED STUDY AREA INCLUDES NORTH/SOUTH BLOCKS - CITY OF CODY RIGHT OF WAY

Not to Known Scale



SECTION 3

Opportunities and Issues



MAIN STREET ANALYSIS

Prior to beginning any design, Sheridan Avenue required analysis to identify issues and opportunities. To accomplish this, the design team conducted numerous site walks to identify opportunities and analyze existing conditions. One walk through was conducted with members of the Steering Committee, who helped inform the team on numerous opportunities of known issues along the street.

During this analysis the following items were identified:

- Sheridan Avenue cross section is 100' wide from shop front to shop front with 12.5' sidewalk width. The result of this is 75' wide vehicle carriageway including parallel parking.
- Due to the width of the Sheridan Avenue, the primary focus is based on vehicle movement and creates a wide corridor that only encourages faster speeds, and longer crossing distance for pedestrians.
- The existing sidewalks are in good condition from shop front to curb.
- The existing bulb-outs provide for extra pedestrian and visitor amenities but the existing furniture is in varying states of decay, and are outdated.
- The north/south streets quickly deteriorate and do not provide the same amenities for visitors (due to a lack of curb, unsafe sidewalks, and limited lighting).
- There are a number of opportunities to partner with private land owners to improve the interface between their lots and the public right-of-way.
- The design needs to help reduce the expanse of roadway pedestrians must cross at intersections
- The street is void of street trees to current Wyoming Department of Transport requirements.
- The ability of people parked at the Buffalo Bill Historical Center to walk and access downtown is not clearly identified or legible. Encouragement of this movement would be needed
- City Park is cluttered and lacks a sense of space as well as a clear connections to Sheridan Avenue. The park would need to be reorganized to provide a better connection to Sheridan Avenue and downtown.
- Bell plaza is an outdated space. If redesigned, it could become an engaging community plaza space.
- There is an opportunity to create a sense of arrival at "main street" or downtown Cody by creating gateways at each end of Sheridan Avenue.
- There is an opportunity to designate parking stalls along the street to reduce the inefficiency of ad hoc parallel parking.

OPPORTUNITY DIAGRAMS

The main street analysis items have been illustrated on the Opportunities Plan Diagram (page 13), that diagram the key ideas and framework for the streetscape. The diagrams illustrate opportunities within the study area that could be enhanced to help create a streetscape that adheres to the streetscape criteria. The opportunity diagrams explores a myriad of ideas, prior to discussing the plausibility of the ideas with WYDOT.

The diagram enlargements illustrate the concept of bulb-outs and how they improve the pedestrian experience along Sheridan Avenue. The concept is to extend the current bulb-outs along Sheridan Avenue. This will allow for a larger corner treatment, shielding people from vehicular traffic, and reduce pedestrian street crossing distance.

DESIGN PARAMETERS

The opportunities diagrams illustrated initial ideas for review and discussion with the City of Cody and WYDOT. Design items are listed below with associated considerations. The formation of this list served as a foundation for the development of the design intent.

1. BULB-OUTS

Bulbouts at main intersections into Sheridan Avenue as discussed and illustrated in the diagrams.

- WYDOT will allow bulbouts along Sheridan Avenue, but street trees are not allowed inside the Sheridan Avenue Right of

Way

- All planting to be max height of 24" due to sight issues.
- Signal poles should remain in same location due to foundations and costs to relocate.
- Crosswalks will have white stripes.
- Map with wayfinding information will be on a display board, that will show the street and business locations.

2. SIDEWALK SPACE ALLOWANCES

- A 5' clear zone is regulated by Federal Highways. This clear zone must be a direct path (it can not meander) from corner to corner. This is referred by Federal Hwys as Continuous Passageways and pertains to ADA for visually impaired people.
- The current M.O.U WYDOT has with the City of Cody will remain.

3. DESIGNATED PARKING SPACES ALONG SHERIDAN AVE for all parallel parking. Improves paring quantity than ad-hoc

- WYDOT supports this idea and believes through other test cases it works and help create more parking just be having designated spaces. City would need to pay for and maintain.

4. WAYFINDING SIGNAGE FOR BUSINESSES IN WYDOT RIGHT-OF-WAY.

- Private businesses are not permitted to place directional signs in right-of-way.
- Districts may be permissible as they do not identify specific business.
- Need to see examples of custom wayfinding along highways.
- City of Cody needs to provide signage for public facilities.

5. OPPORTUNITIES OF PAINTING THE SIGNAL POLES

- This is permissible to WYDOT



PROFESSIONAL OFFICES / RETAIL

Opportunity: Extend bulb outs onto Sheridan Ave to increase gathering spaces at corners, and reduce crossing distance for pedestrians, while maintaining the existing number of parking spaces.

Opportunity: Extend streetscape treatment to north/south side streets in order to provide healthy streets and safe parking areas.



Opportunity: Visitor Center area can become a starting point for a walking tour from the Buffalo Bill Museum, through downtown. The area can serve as a stronger connection between the park and street.

Opportunity: Planted medians at gateways.
Opportunity: Downtown park can become more integrated with streetscape. 'Main street' can become a civic destination.

Opportunity: Enhanced streetscape with planting/furniture/Cody inspired themes/historical quotes/historical references/interpretation/furnishings.

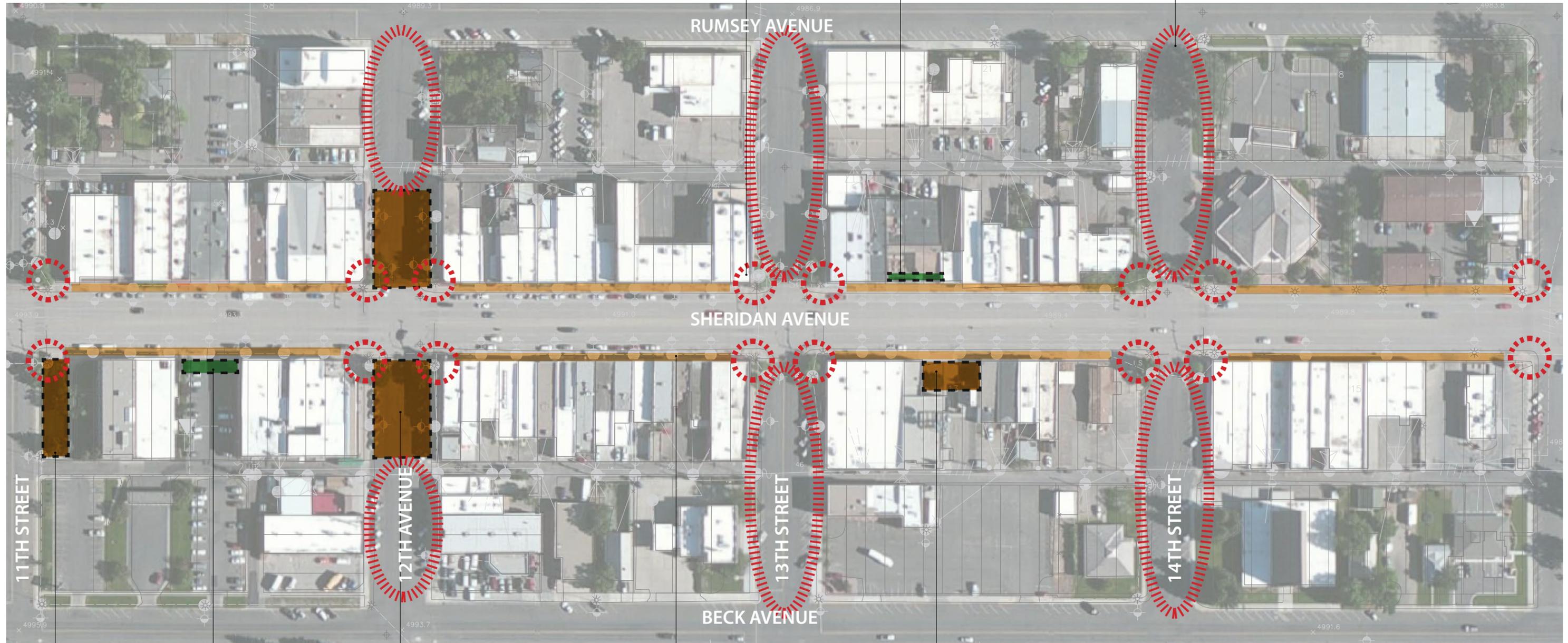
CIVIC AREA - SOUTH SIDE



Opportunity: Extend bulb outs onto Sheridan Ave to increase gathering spaces at corners, and reduce crossing distance for pedestrians, while maintaining the existing number of parking spaces.

Opportunity: (Public/private partnership) Improve interface between patio and streetscape.

Opportunity: Extend streetscape treatment to north/south side streets in order to provide healthy streets and safe parking areas.



Opportunity: (Public/private partnership) Small plaza/urban parklet.

Opportunity: (Public/private partnership) Improve entrance to private parking lot

Opportunity: Provide a downtown community, multi-use plaza with event space. Plaza's located on either side of Sheridan Avenue. The location pays homage to the historic intersection/cross street.

Opportunity: Enhanced streetscape with planting/furniture/Cody inspired themes/historical quotes/historical references/interpretation/furnishings.

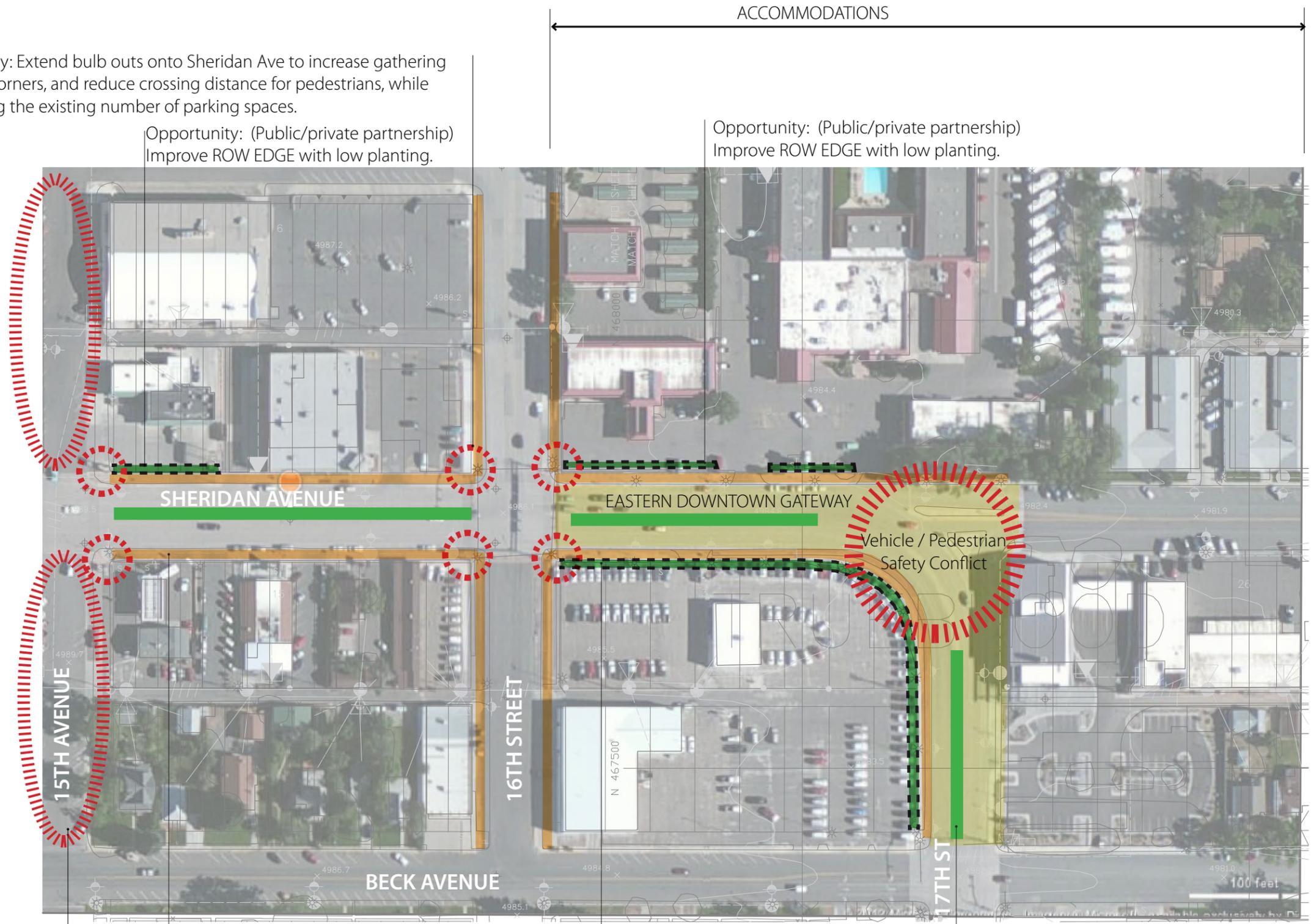
Opportunity: (Public/private partnership) Redesign and create small community plaza area.



Opportunity: Extend bulb outs onto Sheridan Ave to increase gathering spaces at corners, and reduce crossing distance for pedestrians, while maintaining the existing number of parking spaces.

Opportunity: (Public/private partnership) Improve ROW EDGE with low planting.

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Opportunity: Enhanced streetscape with planting/furniture/Cody inspired themes/historical quotes/historical references/interpretation/furnishings.

Opportunity: (Public/private partnership) Improve ROW EDGE with low planting.

Opportunity: Planted medians at gateways.

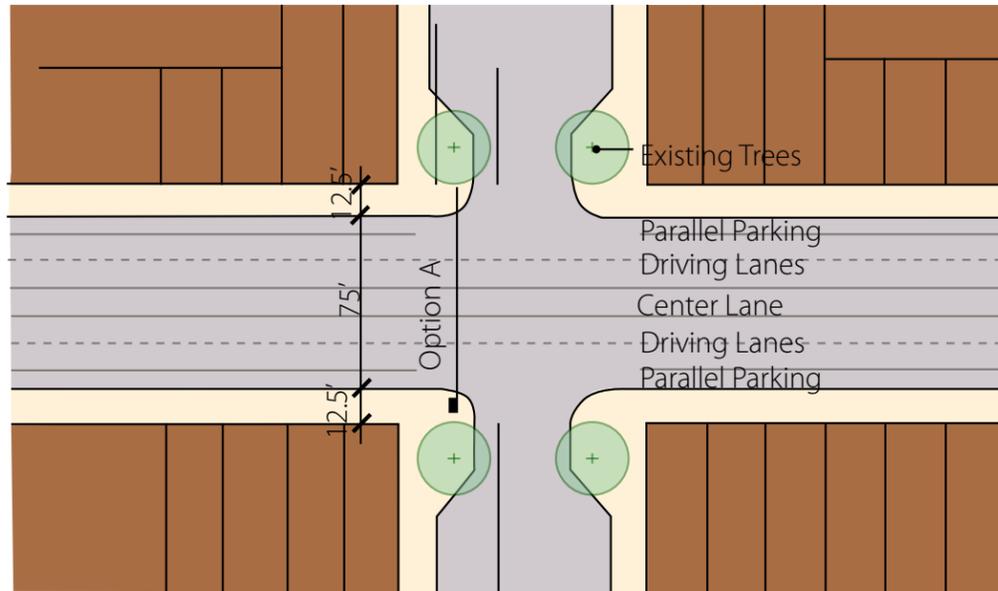
Opportunity: Extend streetscape treatment to north/south side streets in order to provide healthy streets and safe parking areas.



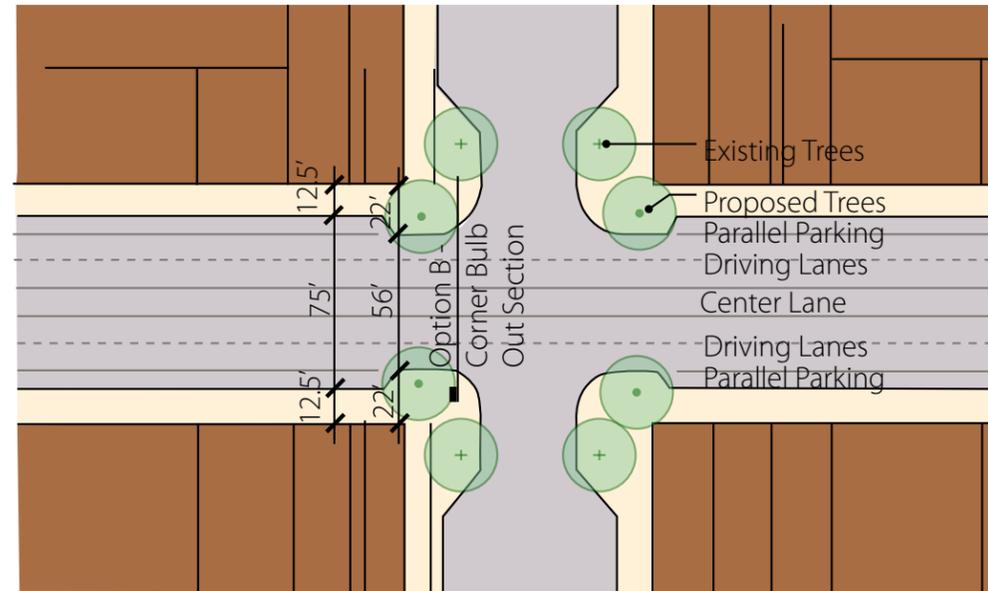
Sheridan Avenue Streetscape Master Plan

Opportunities Plan Diagram

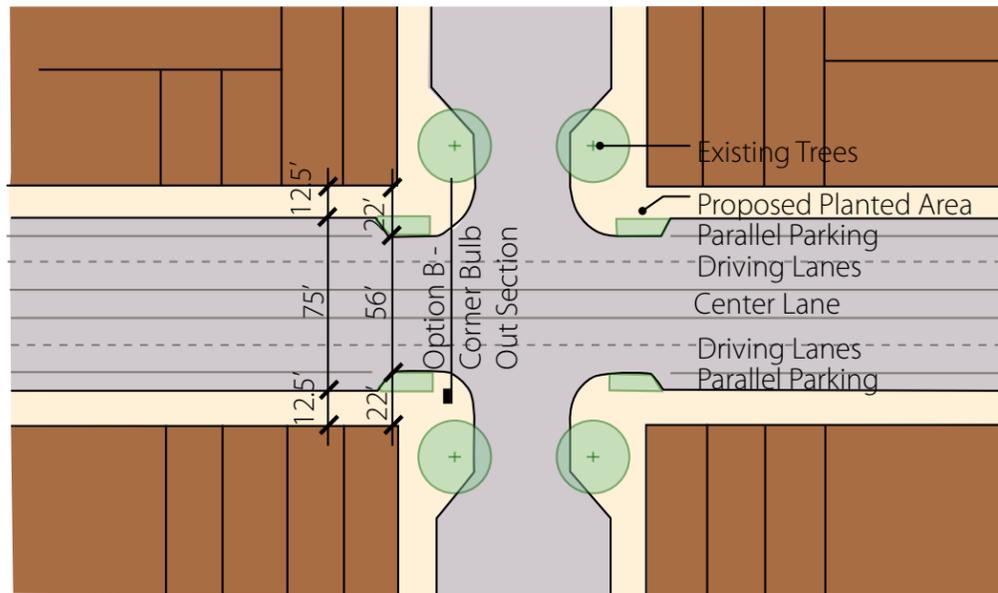




Existing Conditions



Proposed (Option B): Corner Bulb Out With Street Trees



Permitted (Option B): Corner Bulb Out Treatment

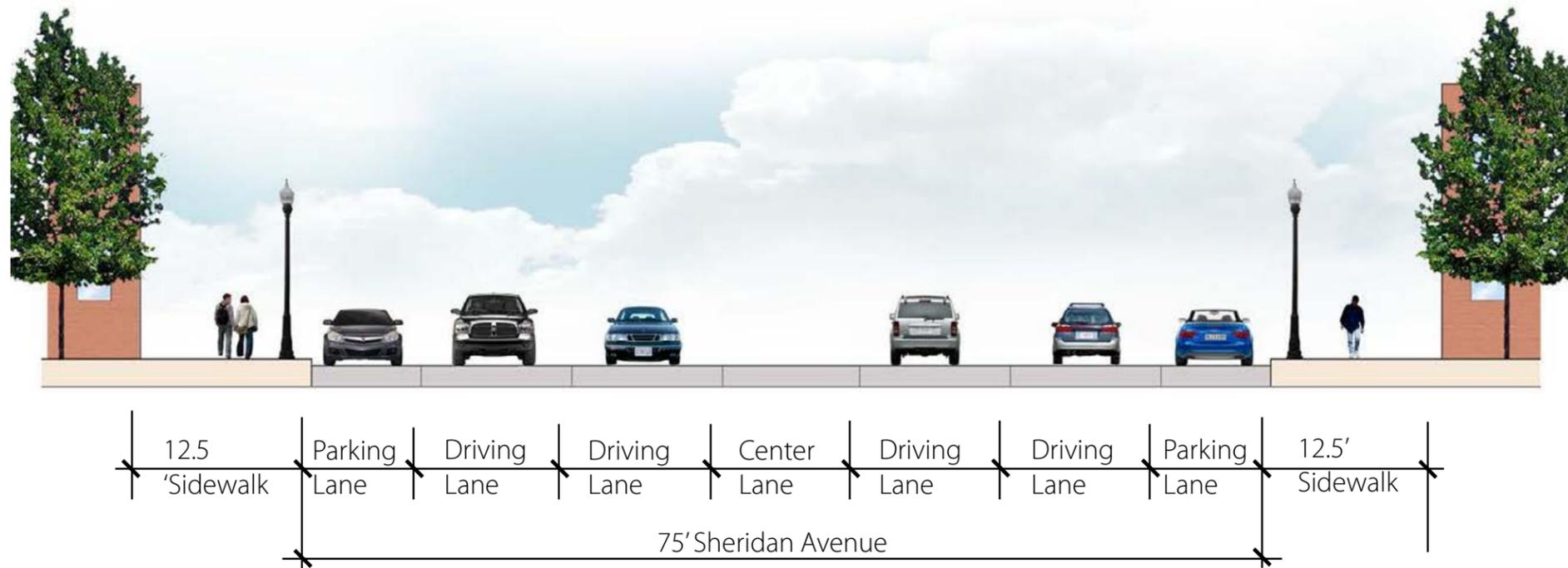


Example: Existing Intersection Bulb Out

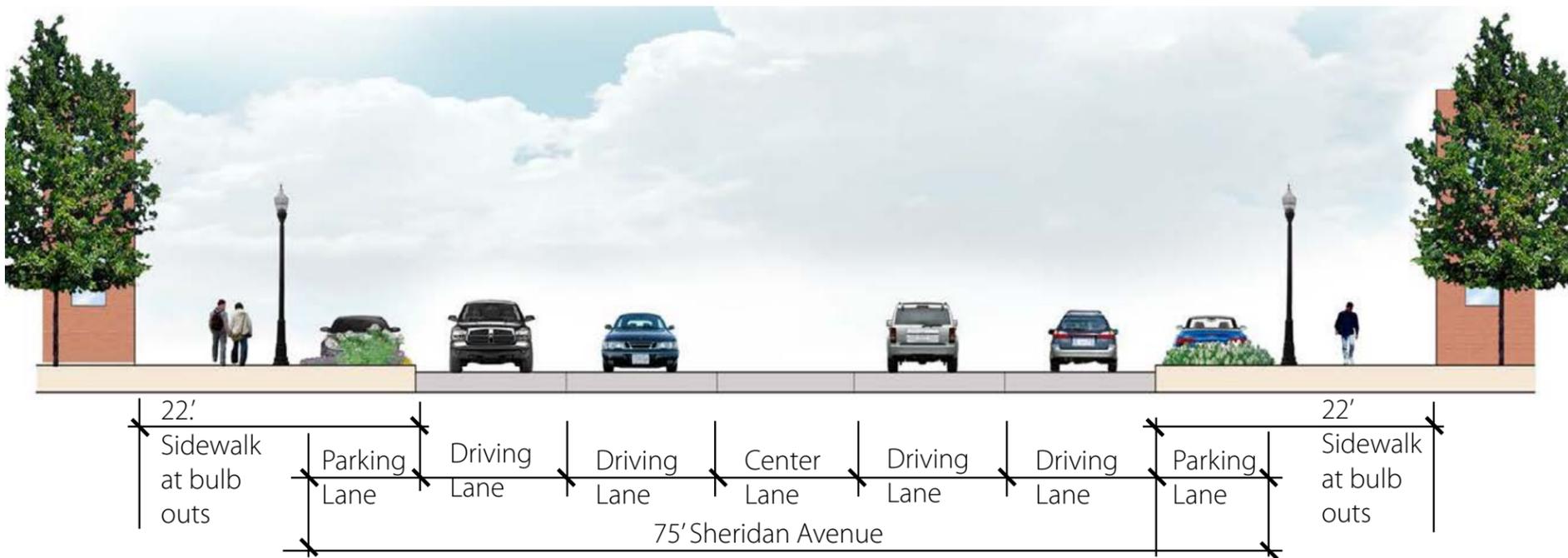
BULB OUTS:

- Create safer pedestrian crossings by reducing crossing distance on Sheridan Avenue
- Bring life (ie vegetation and living things) onto the streetscape to breakup the 'sea' of pavement
- Create gathering areas at intersections





Existing Conditions Section (Option A)



Proposed Corner Bulb Out Section



SECTION 4

Recommendations



RECOMMENDATIONS - DESIGN PROCESS

The design strategy proposed within this master plan was developed over a series of months and involved two public workshops/meetings. The design direction has evolved based on input from steering committee members, business owners, and stakeholders. Two workshops were held at the start of the design process after the initial site investigation and opportunities diagram was created. The first workshop explored the potential opportunities, and input was gathered on the design direction and elements through a visual preferencing exercise. The feedback and direction from the first workshop helped craft the conceptual design, which was later presented at the second workshop. At the second workshop, the overall framework and ideas were presented which have since been advanced to incorporate detail and theming elements which were a direct result of the workshop discussions.

The outline of each workshop is outlined below.

PUBLIC WORKSHOP #1

On April 5, 2012, the first of two public meetings for interested community members, business owners and other stakeholders was held. The first workshop was held at Council Chambers at City Hall was attended by approximately thirty people. The objectives for the workshops were:

1. Communicate the opportunities diagrams and discuss overall strategies for the streetscape
2. Obtain feedback on these items
3. Obtain feedback on character and design elements for the streetscape prior to developing conceptual design.

The workshop format was as follows:

1. Introductions & Design Process
2. Project Overview - Scope
3. Elements Of A Streetscape
4. Project Goals
5. Opportunities Diagrams
6. Example Imagery
8. Visual Preferencing Exercise
9. Discussion Of Exercise Results
10. Defining Cody - Thematic Elements
11. Next Steps

PUBLIC WORKSHOP #2

On May 2, 2012, the second public meetings for interested community members, business owners and other stakeholders was held to present conceptual plans and illustrations, and gather input and feedback to help advance the design to a final direction. The second workshop was held at Council Chambers at City Hall was attended by approximately forty people. The objectives for the workshops were:

1. Obtain consensus on overall direction,
2. Obtain feedback from Stakeholders on aesthetics, and
3. Obtain Stakeholders' input on recommendations for the streetscape.

The workshop format was as follows:

1. Overview of Workshop 1 and summary of discussion/decisions.
2. Summary of WYDOT discussion and design parameters.
3. Conceptual Plan Design 8th to 16th Overall design direction.



4. Enlargements
5. Streetscape Design Elements - Kit of Parts
6. Interactive Design Discussion
7. Conclusions and wrap up

STREETSCAPE RECOMMENDATIONS

This streetscape plan aims to build upon the successful streetscape implementation of 1985. The recommendations below do not call for an entire rebuild of the street, rather the plan focuses on sidewalk and right of way improvements within the pedestrian zone of the street, and some incursion into the actual street through bulb outs. The design promotes the re-use of existing streetscape elements, where feasible, to enhance the current condition rather than replace it.

Refer to the Design Concepts and Illustrations section (page 18 - 29) for illustrative examples of the following recommendations:

Sheridan Avenue Bulb-outs - All corners of Sheridan Avenue should have a bulb-out condition, a prototypical condition as illustrated or a smaller version as shown east and west of 10th Street to 14th Street. These bulb-outs are critical in allowing spaces for people to sit and enjoy street life in summer and also shield pedestrians from the vehicles. This condition also sets up a repetitive framework that identifies the street as a significant street in Cody, establishing the area as the downtown area. The bulbouts help reduce the street crossing distance, provides human scale to the space, allows for vegetation and organic life in the street, displays that this is a place that is cared for, and helps slow speeds of vehicles. The bulb outs can either allow storm water to flow around curbs or towards at grade grates. The bulb-outs will also provide a location for wayfinding signage, for visitors to orientate themselves with downtown. It is recommended that exiting street trees remain, and the tree grates are replaced.

Gateways and Entries - Each end of Sheridan Avenue must visually signal a downtown gateway. Additional planting, furnishings, pavement and signage should be installed to help define this as a gateway element. People need to feel they are entering or leaving a significant part of Cody. We propose extending design elements and furnishings to the extent of the project area.

North and South Blocks - Identified early in the analysis period, the streetscape condition quickly deteriorates on the north/south cross streets. This inhibits people from parking along these streets, both during the day and at night due to limited lighting. The study proposes to extend sidewalks, lighting, and street trees along key north/south streets to help facilitate safe parking and encourage business. This enhancement would also provide additional downtown parking on safe, pedestrian friendly streets.

Paving treatment - Where possible, the existing sidewalk will remain. The design proposes to remove the concrete squares adjacent to the curb, and replace with unit pavers. The area below the pavers serves as a utility trench for electrical lines (for lighting), and proposed irrigation lines. The use of pavers allows for easy access to utilities without requiring cutting and/or re-pouring concrete. The pavers also serve as a cohesive visual link between street corners. Areas such as the 12th Street plaza and the 9th Street market should also be paved with unit pavers for the same reasons of future access, longevity and the ability to create people spaces for special events.

Paving - Paving should consist of concrete pavers of a mottled color to minimize the effects of staining and provide visual interest. Pavers should be distinct in size, color and texture. At plazas locations, paving should delineate the plaza boundaries, provide a cohesive appearance, and contribute to the aesthetic impression of the plaza. Varied paving patterns should also be used to create a hierarchy spaces. Paving can be used to help redefine the use of a space. For example, pavers used in an alley can change the perception of a vehicular space to one that is shared with pedestrians and bicyclists. This technique will help create safe, shared environments.

Parking - Organized and striped parallel parking is proposed as a design strategy. Striped parking ensures efficient and deliberate parking spaces, reducing wasted space that occurs through ad-hoc parallel parking that currently occurs along the

avenue. Improvements to the north/south cross streets will also provide overflow parking for Sheridan Avenue.

Lighting - Lighting should be replaced with full cut-off or partial cutoff LED light heads. We propose the light fixtures be replaced with modern light posts that work with the Halophane Site Link system (or other similar system). The Halophane Site Link System also allows for irrigation lines to run up the inside the poles to feed any hanging baskets. We propose reusing the existing lights that are in good condition for the north/south blocks.

Planting - Planting should contribute to softening the appearance of Sheridan Avenue, providing color, texture, and human scale interest. Trees in plaza spaces should be placed in areas near seating to provide shade. Year round planting should be considered. Winter planting could consist of adding pine boughs and dogwood twigs, etc. to planting areas. Plants need to reflect the local character and plant palette. Cody is fortunate to be located in a pocket of warmer air relative to surrounding areas (hardiness zone 4b). Drip irrigation should be a component of all planting areas.

- **Planter Pots and Hanging Baskets** - Planter pots are a unifying feature that adds a human scale to the streetscape, especially with the inability to plant street trees. Hanging baskets can be designed to fit with the Halophane Site Link System and engineered with fixed mounting supports that address the wind loads experienced along the avenue. The planter pots will predominately face the wind direction and will not be perpendicular in most instances. Planters should be used as a feature to provide structure and accents to the overall environment. Drip irrigation lines eliminate intensive hand-watering requirements.

Irrigation

A new irrigation system should be installed for the entire streetscape. Main lines can run behind the curb, and drip systems can be used in all gardens beds, planter pots and hanging baskets. A new system on central control will eliminate the need for hand watering.

Art - A variety of opportunities exist to integrate art into the streetscape at corners and plazas. Please refer to the visual preferencing exercise results in the appendix for the predominately preferred art style ,for permanent art installations. When selecting art, consideration of physical placement is important to prevent damage to the art, but also to avoid impeding pedestrian or vehicular movement. Murals, embossed or sandblasted pavers, and sculpture are appropriate forms of art well suited for the streetscape. Other art options should be considered, so long as the basic criteria for physical placement is maintained. Potential public art locations have been identified on the plans (pages 20-24).

Plazas - The plan identifies four areas where public plazas can be created on a permanent or temporary basis.

- 9th Street has been identified as an area that can be paved and host markets. During non-market times, it acts as a street, with on-street parking for City Park and adjacent Visitor Center.
- The area of land adjacent to the Bank of the West, currently lawn and garden space, can be converted to a plaza space with an agreement with the property owner. This plaza would enhance the current public offering into a space for art, street performances, space to rest ,or a space for lunch.
- 12th Street has been identified as an important location for special treatment. This area is the heart of the original Cody and represents the main cross street of the historical town. With historical buildings on either corner , and events at The Irma, other events such as car shows, this area offers a unique opportunity for temporary festival space on both sides of Sheridan Avenue. The area would function as a street and event space. This concept would support the current uses of the space, but extend the opportunities to the north side of this historical corner.
- Bell Plaza offers one of the best opportunities to create a permanent community plaza. The proposed design provides ramped access to the public restrooms, and includes a small amphitheater space with perimeter planting. This space would be an active and enjoyable community asset.

Seating - Seating should be accommodated along the street at corners through the use of stone seatwalls, and benches. In addition, benches can be provided along the street in front of shops.

Theming - It is critical to create a streetscape that is unique to Cody. A refined and sophisticated western feel is proposed, rather than rustic and raw western elements. A collection of streetscape elements can be customized to reflect the aesthetics of the community. Inspiration for these elements includes patterns of leather tooling, saddlery, and metal work, local brands, and Molesworth furniture. The collections at The Buffalo Bill Historical Center reflect the proposed aesthetic.

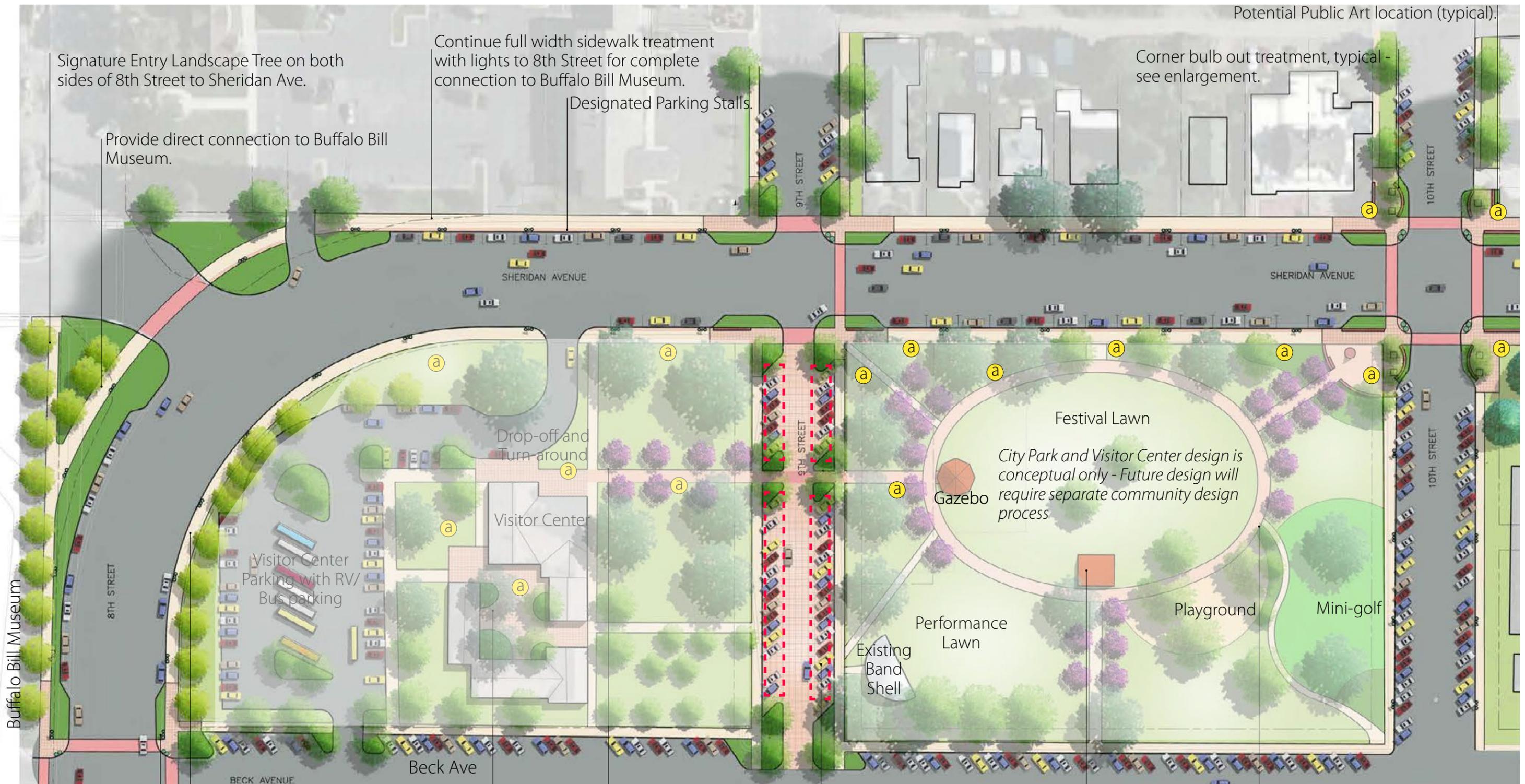
History - A important design concept for the streetscape is the idea of a history walk, that includes historical quotes about Cody and celebrates key historical elements. The concept for this entails using square granite pavers with engraved texts to be placed on street corners and periodically along the street. The local historical society and Buffalo Bill Historic Center, and/or a stakeholders group should develop the content of such elements for the streetscape to ensure accuracy and relevance to the City.

Furnishings - The furnishings for Cody need to reflect a sophisticated western aesthetic. Furniture includes benches, planter pots on corners, planter pots in front of stores, street posts, hanging basket attachments, shop shingle signage, and wayfinding signage.

Wayfinding Signage - The wayfinding signage suite needs to portray a uniformed signage approach while fitting with the other street furnishings. The signage suite needs to meet wayfinding signage standards to ensure ease of use. Wayfinding signage within the Sheridan right-of-way is limited to only public destinations. Business signage can occur outside the right-of-way on cross streets. The information board wayfinding system will help business' be located easily by pedestrians. Wayfinding signage locations and City attractions are shown on the destinations map (page 31).

Flags - A signature element of Sheridan Avenue is the flag system. The proposed design would retain the flags in their current locations, replace poles with custom fabricated black metal poles, and incorporate a new sleeving system for improved fitting. The flags would be higher than the current height to reduce the possibility of pedestrians being whipped by flags in the wind.





Signature Entry Landscape Tree on both sides of 8th Street to Sheridan Ave.

Continue full width sidewalk treatment with lights to 8th Street for complete connection to Buffalo Bill Museum.

Corner bulb out treatment, typical - see enlargement.

Provide direct connection to Buffalo Bill Museum.

Designated Parking Stalls.

SHERIDAN AVENUE

SHERIDAN AVENUE

Buffalo Bill Museum

8TH STREET

Visitor Center Parking with RV/Bus parking

Drop-off and Turn-around

Visitor Center

Festival Lawn

City Park and Visitor Center design is conceptual only - Future design will require separate community design process

Gazebo

Performance Lawn

Existing Band Shell

Playground

Mini-golf

BECK AVENUE

Beck Ave

9TH STREET

9TH STREET

10TH STREET

10TH STREET

Continue full width sidewalk treatment with lights to Beck Ave.

Promenade link from Visitor Center to Sheridan Avenue and 10th Street.

9th Street Market - Upgrade to 9th Street includes redesigned entrance, Restroom, and paved street, allowing for market space.

Updated

Grand Promenade enclosing Festival Lawn and connecting to all park elements, visitor center, and Sheridan Avenue.

Corner bulb out treatment, gateway to downtown element.

Visitor courtyard with tables and chairs, and interpretive historical elements Acts as a direct link from Buffalo Bill Museum to City park and Sheridan Avenue.

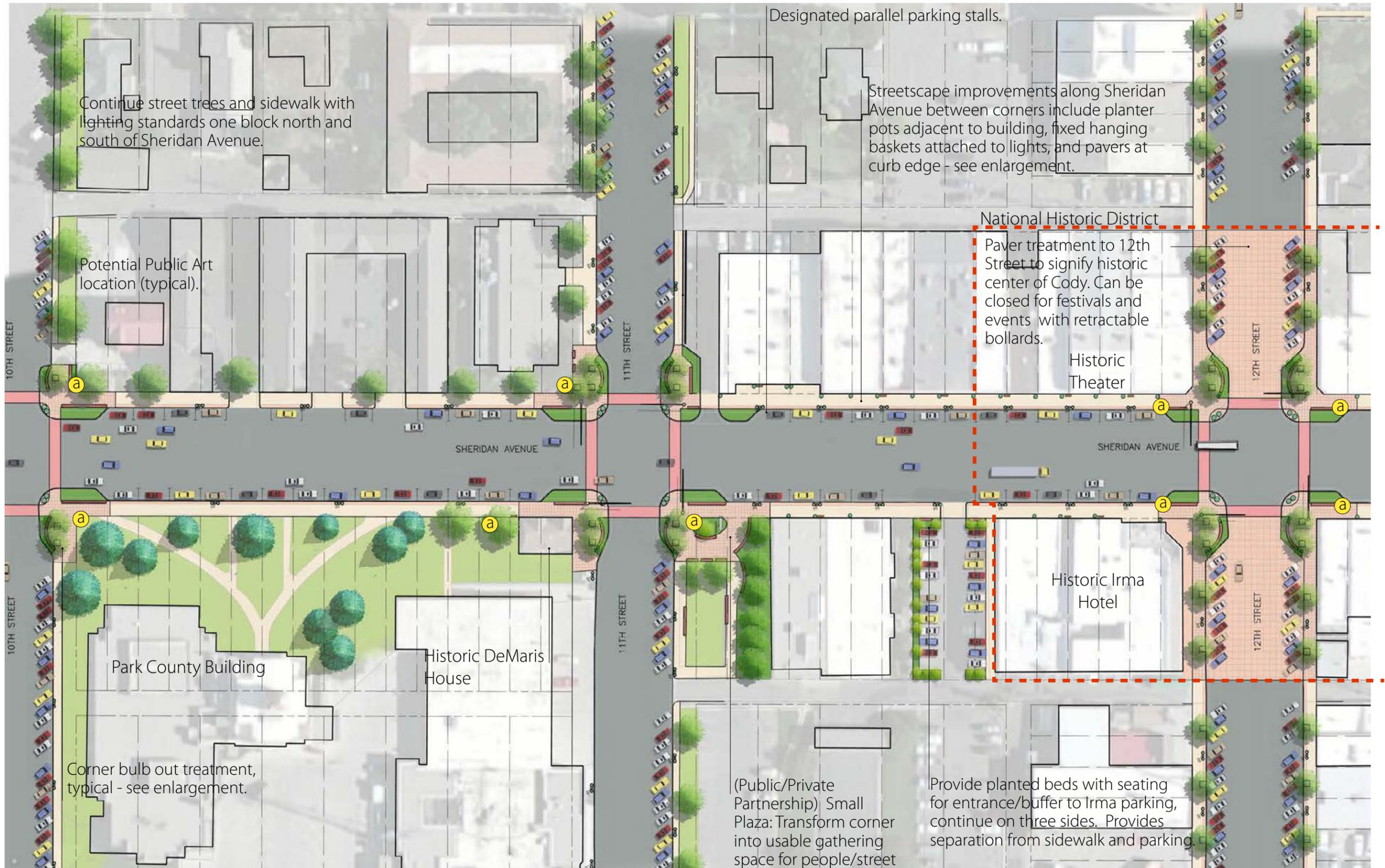
(a) = Potential Public Art location (typical)

1" = 30' at full size
0 30 60'



Sheridan Avenue Streetscape Master Plan

Conceptual Plan : 8th St to 10th St



(Public/Private Partnership) Small Plaza: Transform corner into usable gathering space for people/street entertainment, art elements.

Provide planted beds with seating for entrance/buffer to Irma parking, continue on three sides. Provides separation from sidewalk and parking.

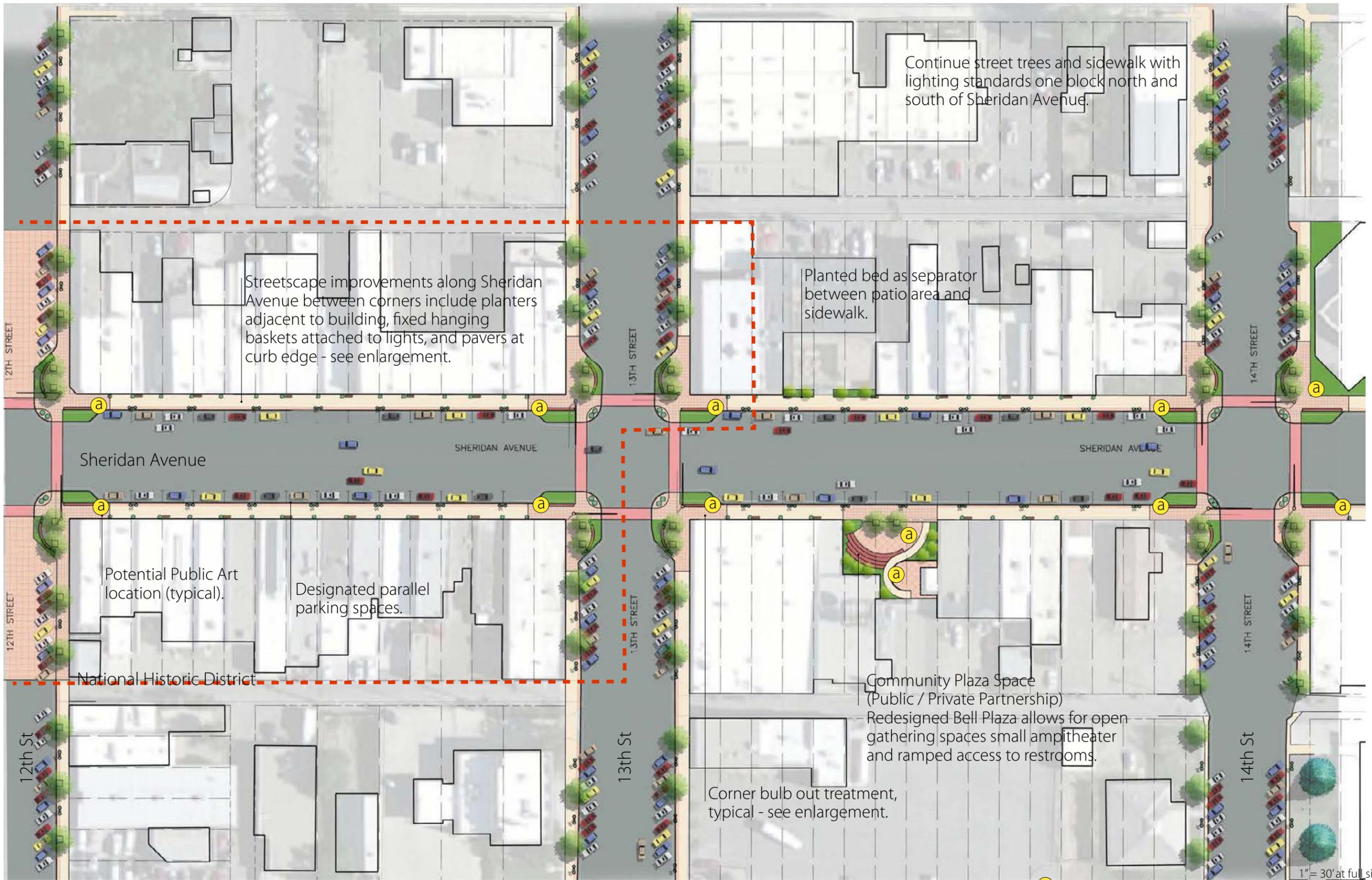
a = Potential Public Art location (typical)



Sheridan Avenue Streetscape Master Plan

Conceptual Plan : 10th St to 12th St



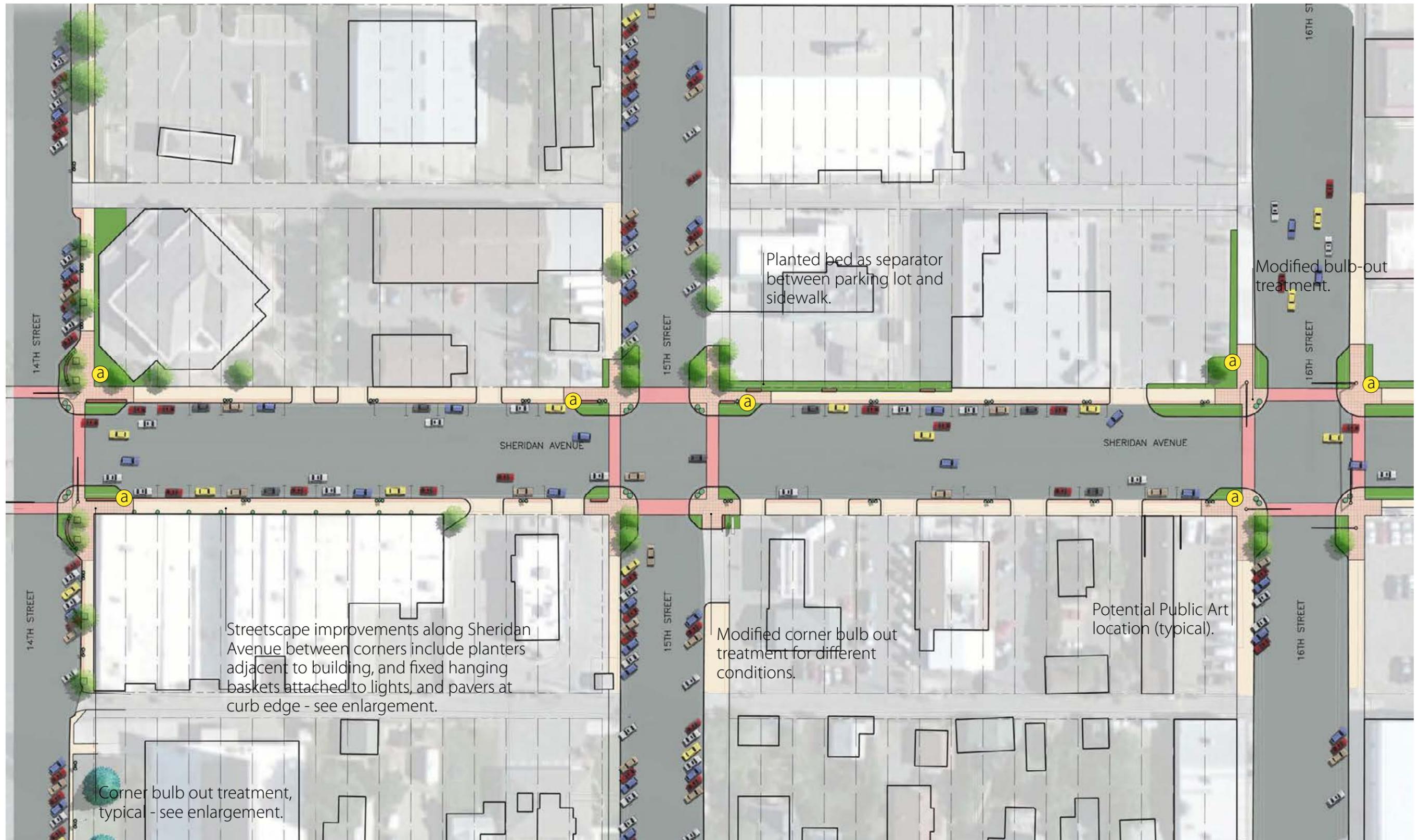


Ⓐ = Potential Public Art location (typical)

Sheridan Avenue Streetscape Master Plan

Conceptual Plan : 12th St to 14th St





Planted bed as separator between parking lot and sidewalk.

Modified bulb-out treatment.

Streetscape improvements along Sheridan Avenue between corners include planters adjacent to building, and fixed hanging baskets attached to lights, and pavers at curb edge - see enlargement.

Modified corner bulb out treatment for different conditions.

Potential Public Art location (typical).

Corner bulb out treatment, typical - see enlargement.

1" = 30' at full size
0 30 60'

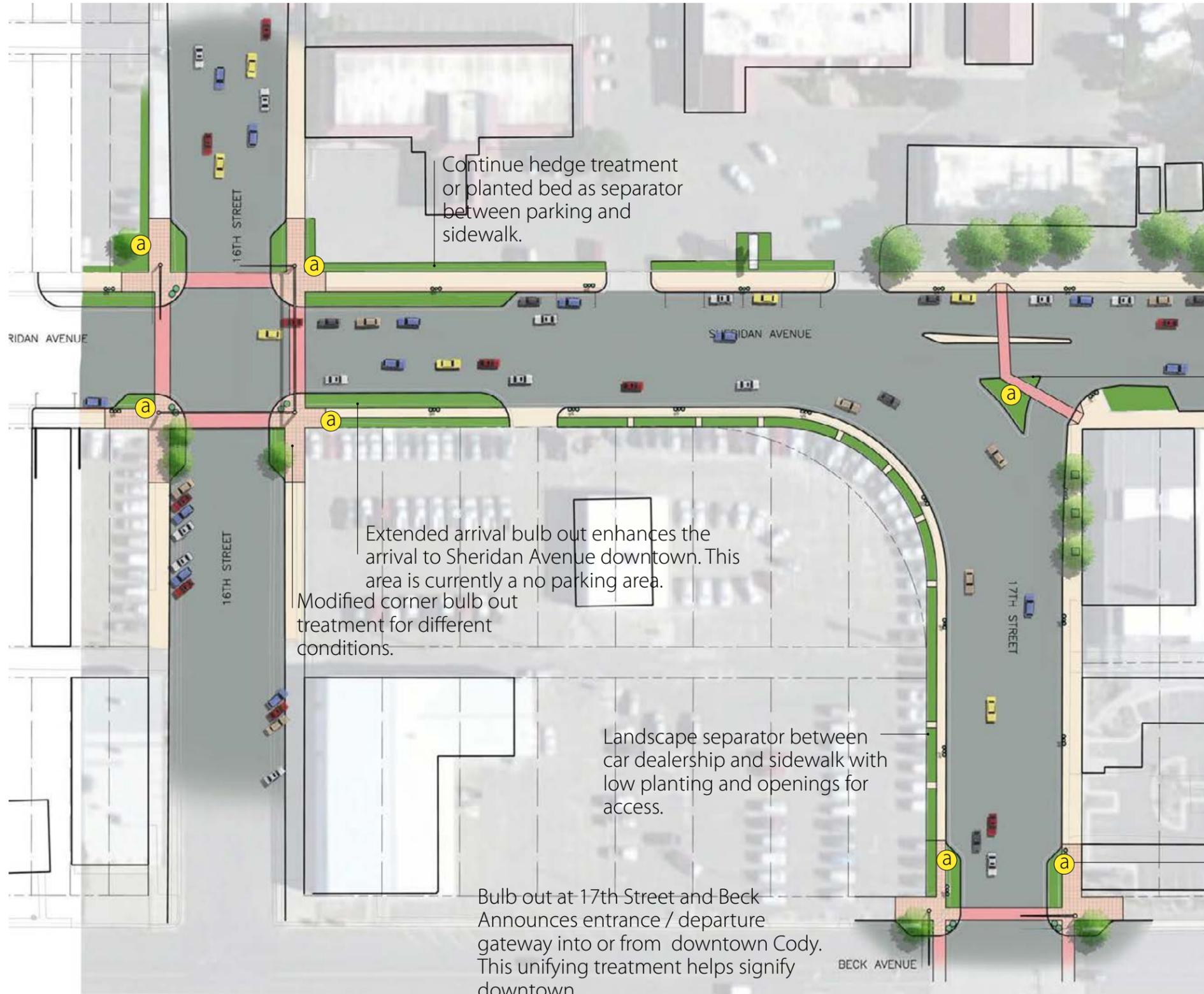


ⓐ = Potential Public Art location (typical)



Sheridan Avenue Streetscape Master Plan

Conceptual Plan : 14th St to 16th St



Continue hedge treatment or planted bed as separator between parking and sidewalk.

Extended arrival bulb out enhances the arrival to Sheridan Avenue downtown. This area is currently a no parking area.
Modified corner bulb out treatment for different conditions.

Landscape separator between car dealership and sidewalk with low planting and openings for access.

Bulb out at 17th Street and Beck Announces entrance / departure gateway into or from downtown Cody. This unifying treatment helps signify downtown.

Convert existing island to planted bed as a arrival element. Allow for a new safe pedestrian route to cross street.

Potential Public Art location (typical).

Ⓐ = Potential Public Art location (typical)

1" = 30' at full size
0 30 60'



Accessible Parking with Code Compliant Sidewalk Access

Bicycle Rack

12" Square pavers

Planter pots

Benches

Existing trees

Planted Area with shrubs, grounds covers <24"

Curved stone seat wall provides gathering space with stone cap - local quote sandblasted on top cap.

Wayfinding signage board

Existing Street Signal Pole - location varies per intersection corner

Accessible Ramp Connection to Crosswalk

Street Name Sandblasted into Concrete Panel

Sandblasted Patterns into concrete panel

Planter Pot - Total Height with plants <24"

Decorative grate for storm water conveyance where needed

Planted Area with shrubs, grounds covers <24"

Accessible Ramp Connection to Crosswalk

Inlaid Engraved Pavers with Historical Quote/Information

Stone seat wall with stone cap

Trash Receptacle

Bench

Planter Pot

Existing Concrete

Fixed Hanging Baskets

Paver band at edge of sidewalk continues along street

Designated parking

Sheridan Avenue

1/4" = 1' at full size
0 4 8'



Sheridan Avenue Streetscape Master Plan

Conceptual Plan: Prototypical Corner Bulbout Enlargement





Fixed Hanging Baskets

Sandblasted Patterns into concrete panel

Planted Area with native plants

Stone seat wall with stone cap

Brick Pavers

Inlaid Engraved Pavers with Historical Quote/Information

Existing Street Signal Pole

Trash Receptacle

Wayfinding signage board

Planter pots

Fixed Custom Shingles
Existing Concrete

Benches





Designated parking stalls

Continuation of pavers along sidewalk edge

Fixed hanging baskets

Sandblasted detail to existing concrete

Potential Sculpture Location

Shade trees

Multi-use Performance Area

Ramp to Existing Restrooms

Stone amphitheater seating

Native Plantings





LIGHTS & HANGING BASKETS



BENCHES - VICTOR STANLEY C-10



Bench has detailing expressed in other elements



TRASH RECEPTACLE - VICTOR STANLEY



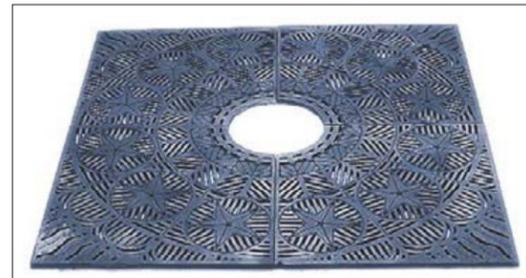
Custom detailing of trash and planters

PLANTERS - COLOR TO BE BLACK

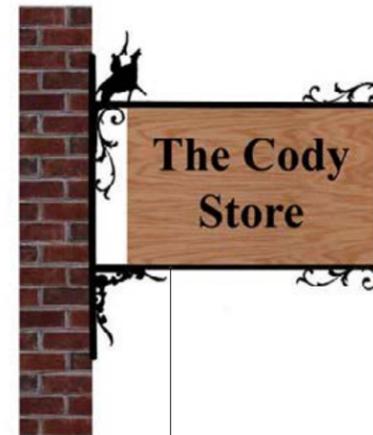


Custom detailing of trash and planters

4' DIAMETER PLANTER



TREE GRATES & TRENCH GRATES BY URBAN ACCESSORIES



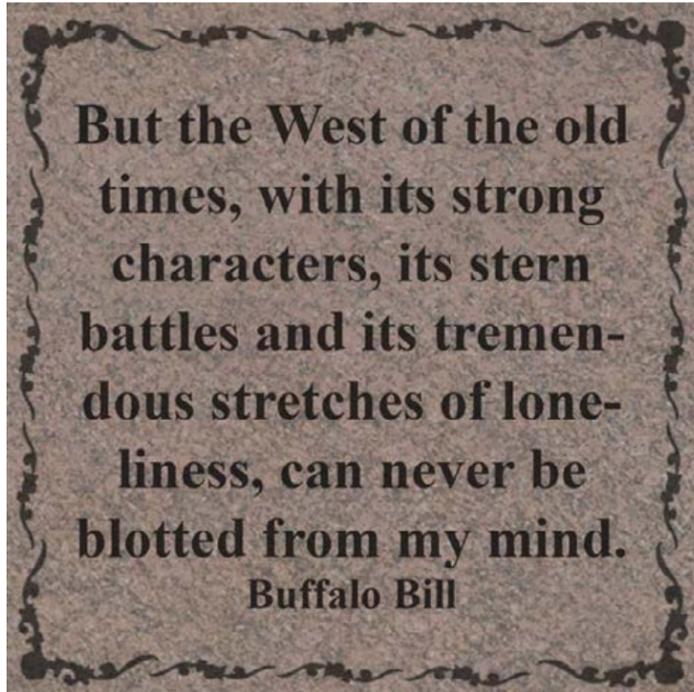
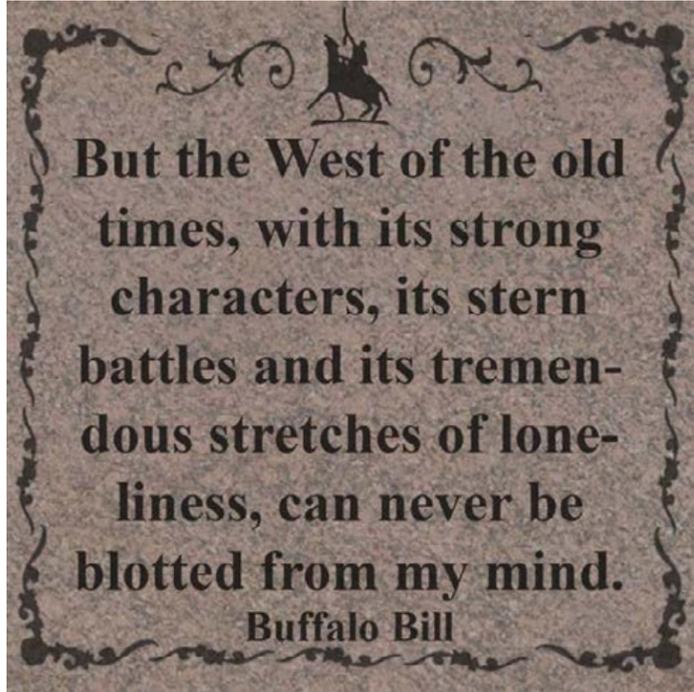
Custom detailing to sign frames reinforce theming of streetscape elements

SHINGLE SIGNS FIXED & HANGING CUSTOM DESIGN OPTIONS



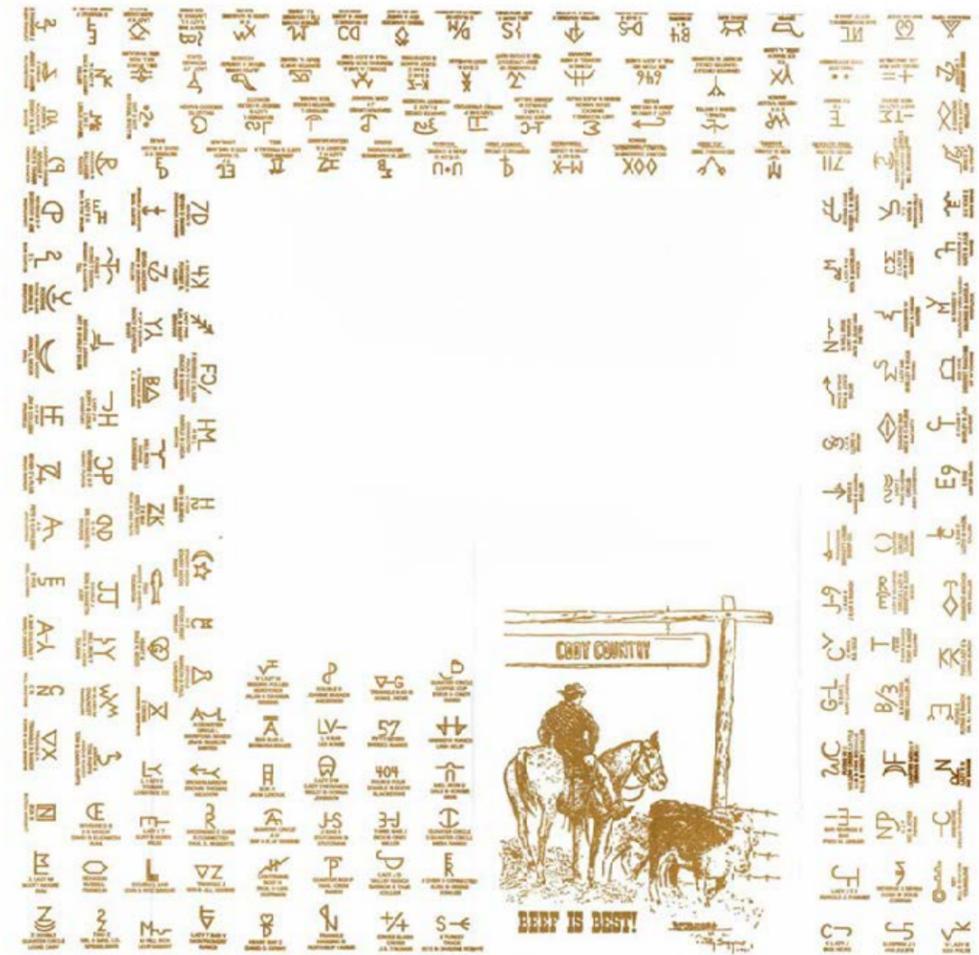
HISTORIC PAVERS WITH QUOTES OR EVENTS

Granite pavers with engraved patterns and text portray famous quotes and/or historic events along Sheridan Avenue. Two alternatives are shown below.



BRANDS

Below are examples of brands from Wyoming ranches that could be used throughout the streetscape, sandblasted into the existing concrete or etched into the furnishings. Permission would need to be obtained from each ranch to use the brands. The image below is a scan of a commemorative napkin produced with Wyoming ranch brands.



Napkin and brand belt buckle courtesy of Bob Newsome

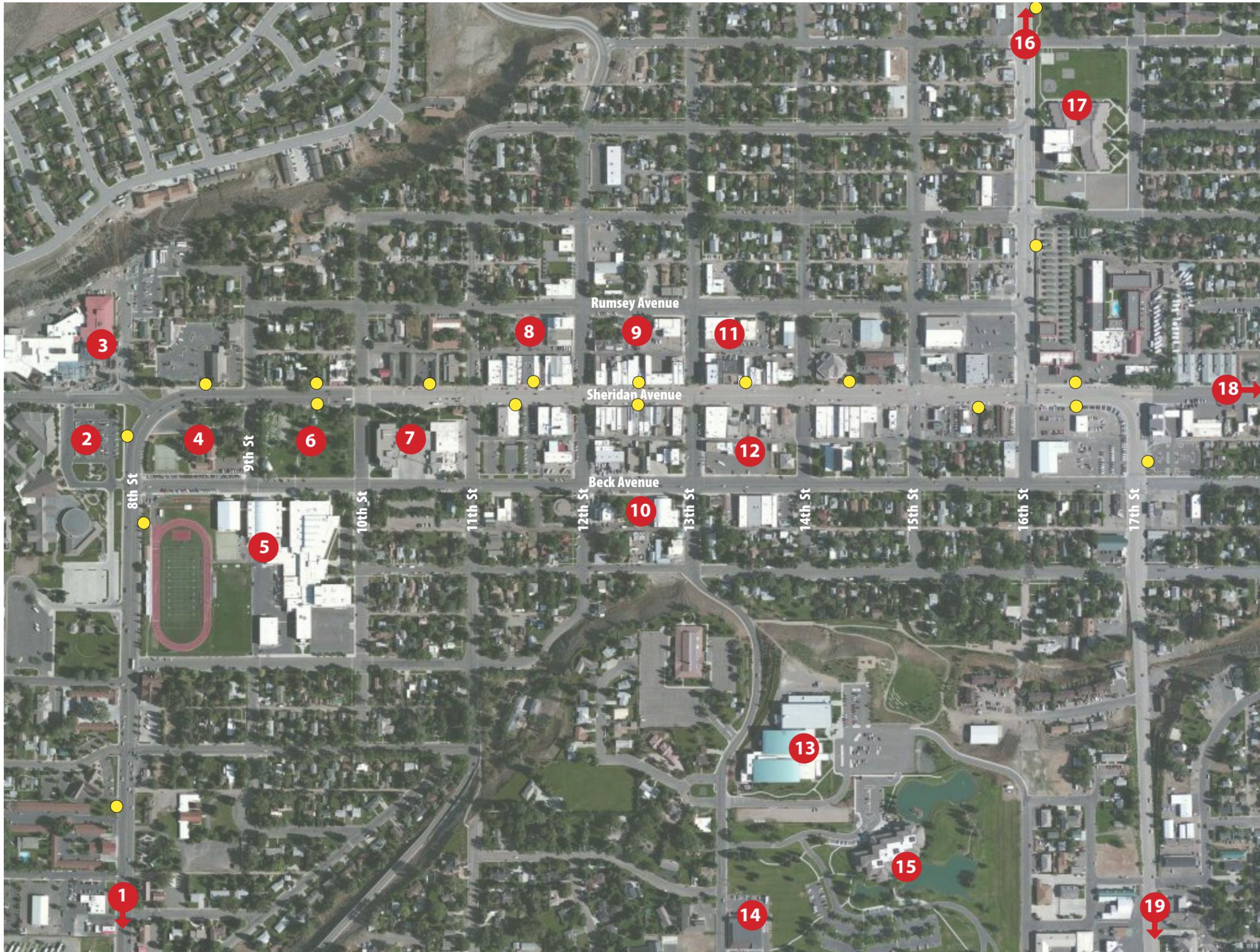




WAYFINDING SIGNAGE SUITE

The wayfinding signage suite uses the colors and design of the monument entry signs to create a suite of uniformed signs incorporating the detail and patterns found in the street furnishings.





Public Destination from Downtown

1. Rodeo
2. Buffalo Bill Historical Center
3. West Park Hospital
4. Visitor Center
5. Cody High School
6. City Park
7. Park County Courthouse
8. Pubic Parking
9. Public Parking
10. Cody Auditorium
11. City of Cody City Hall
12. Public Parking
13. Riley Arena Center & Paul Stock Recreation Center
14. Post Office
15. Park County Library
16. Senior Center & Law Enforcement Center
17. Eastside Elementary
18. Mentock Park
19. Airport & Veterans Park

● Potential Way Finding Sign Locations for signage



SECTION 5

Cost Estimates & Phasing Strategy



COST ESTIMATES

The following pages provide order of magnitude cost estimates for each block of right-of-way within the study area. The cost estimates are based on the conceptual plans and include a twenty percent contingency. Costs will be reviewed and refined through final construction design and the bidding process as each block is further developed. Cost summaries are provided per block, with the north and south side of the street itemized. Once funding is determined, a phased strategy can be analysed. Costs for the City Park improvements are not included in this estimate. This area would require a separate design process to determine the design and associated costs.

COST SUMMARY PER BLOCK

SHERIDAN AVENUE BLOCK 8

North Side of Street	\$ 373,221
South Side of Street	\$ 274,786
Subtotal	\$ 648,007
9th Street Plaza	\$ 333,619

TOTAL \$ 981,626

(Including 9th St Plaza)

SHERIDAN AVENUE BLOCK 9

North Side of Street	\$ 213,273
South Side of Street	\$ 213,226
Subtotal	\$ 426,499
10th Street	\$ 21,600

TOTAL \$ 448,099

(Includes improvements along 10th St)

SHERIDAN AVENUE BLOCK 10

North Side of Street	\$208,562
South Side of Street	\$239,477
Subtotal	\$448,039
11th Street	\$ 28,890

TOTAL \$ 476,929

(Includes improvements along 11th St)

SHERIDAN AVENUE BLOCK 11

North Side of Street	\$ 332,336
South Side of Street	\$ 361,746
Subtotal	\$ 685,082
12th Street	\$ 430,144

TOTAL \$ 1,115,226

(Includes improvements along 12th St & plazas)

SHERIDAN AVENUE BLOCK 12

North Side of Street	\$ 347,342
South Side of Street	\$ 345,452
Subtotal	\$ 692,794
13th Street	\$ 100,170

TOTAL \$ 792,964

(Includes improvements along 13th)

SHERIDAN AVENUE BLOCK 13

North Side of Street	\$ 310,244
South Side of Street	\$ 137,228
Subtotal	\$ 447,472
14th Street	\$ 96,107
Community Plaza	\$ 137,228

TOTAL \$ 680,807

(Includes improvements along 12th St & community plaza)

SHERIDAN AVENUE BLOCK 14

North Side of Street	\$212,983
South Side of Street	\$218,511
Subtotal	\$431,494
15th Street	\$30,105

TOTAL \$ 461,599

(Includes improvements along 15th St)

SHERIDAN AVENUE BLOCK 15

North Side of Street	\$182,473
South Side of Street	\$145,267
Subtotal	\$ 327,740
16th Street	\$24,246

TOTAL \$ 351,986

(Includes improvements along 16th St)

SHERIDAN AVENUE BLOCK 16

North Side of Street	\$ 292,707
South Side of Street	\$ 248,785
TOTAL	\$ 541,492

TOTALS

Streetscape on Sheridan Avenue	\$ 4,648,619
North/South Improvements & Plazas	\$ 1,202,109
TOTAL	\$ 5,850,728



Sheridan Avenue Streetscape Master Plan

Estimate of Probable Costs

Plan Date: May 2012

Prepared by: Russell + Mills Studios

ITEM	UNIT	UNIT COST	QTY.	EXTENDED COST	NOTES
Sheridan Avenue Block 8					
North Side of Street					
DEMOLITION					
Remove existing Concrete and Asphalt	S.F.	\$3.00	1,000	\$3,000.00	
Remove Curb & Gutter	L.F.	\$9.00	380	\$3,420.00	
Saw Cutting Pavement for Removal	L.F.	\$8.00	380	\$3,040.00	
Sod Stripping	S.F.	\$0.20	3,500	\$700.00	
CATEGORY SUBTOTAL				\$10,160.00	
LIGHTING					
Pedestrian Light/Hanging Baskets	EA	\$12,000.00	11	\$132,000.00	
CATEGORY SUBTOTAL				\$132,000.00	
SITE WORK					
Grading Allowance	ALLOW	\$4,000.00	1	\$4,000.00	
Curb & Gutter	L.F.	\$20.00	450	\$9,000.00	
6" Concrete Edge	L.F.	\$15.00	270	\$4,050.00	
Unit Pavers	S.F.	\$7.00	1,600	\$11,200.00	
2.5' Unit Pavers Band	S.F.	\$7.00	900	\$6,300.00	
Parking Stripping	ALLOW	\$2,000.00	1	\$2,000.00	
CATEGORY SUBTOTAL				\$36,550.00	
LANDSCAPE					
Soil Prep - Compost and fertilizer as required	C.Y.	\$25.00	160	\$4,000.00	All planted areas - 6" depth
Mulch	C.Y.	\$35.00	80	\$2,800.00	Shredded Cedar - 3" depth
Deciduous Tree	EA.	\$350.00	17	\$5,950.00	2" caliper
Shrubs/Grasses/Perennial	S.F.	\$6.00	8,500	\$51,000.00	
CATEGORY SUBTOTAL				\$63,750.00	
SITE FURNISHINGS					
Planter Pots - Large	EA.	\$1,500.00	2	\$3,000.00	
Planter Pots - Small	EA.	\$1,200.00	6	\$7,200.00	
Bench	EA.	\$2,000.00	2	\$4,000.00	
Trash Receptacles	EA.	\$800.00	6	\$4,800.00	
Wayfinding	ALLOW	\$10,000.00	1	\$10,000.00	
CATEGORY SUBTOTAL				\$29,000.00	
IRRIGATION					
Irrigation	ALLOW	\$5,000.00	1	\$5,000.00	Irrigation adjustments/improvements
CATEGORY SUBTOTAL				\$5,000.00	
SUBTOTAL				\$276,460.00	
20% Masterplan Contingency				\$55,292.00	
15% Contractor Mobilization/General Conditions				\$41,469.00	
GRAND TOTAL				\$373,221.00	
Sheridan Avenue Block 8					
South Side of Street					
DEMOLITION					
Remove existing Concrete and Asphalt	S.F.	\$3.00	1,800	\$5,400.00	
Remove Curb & Gutter	L.F.	\$9.00	230	\$2,070.00	
Saw Cutting Pavement for Removal	L.F.	\$8.00	210	\$1,680.00	
CATEGORY SUBTOTAL				\$9,150.00	
LIGHTING					
Pedestrian Light/Hanging Baskets	EA	\$12,000.00	10	\$120,000.00	
CATEGORY SUBTOTAL				\$120,000.00	
SITE WORK					
Grading Allowance	ALLOW	\$6,000.00	1	\$6,000.00	
Curb & Gutter	L.F.	\$20.00	240	\$4,800.00	
6" Concrete Edge	L.F.	\$15.00	270	\$4,050.00	

Unit Pavers	S.F.	\$7.00	1,700	\$11,900.00	
2.5' Unit Pavers Band	S.F.	\$7.00	450	\$3,150.00	
Seat Wall	F.F.	\$100.00	45	\$4,500.00	18" ht-sandstone faced
Parking Stripping	ALLOW	\$2,000.00	1	\$2,000.00	
CATEGORY SUBTOTAL				\$36,400.00	
LANDSCAPE					
Soil Prep - Compost and fertilizer as required	C.Y.	\$25.00	25	\$625.00	All planted areas - 6" depth
Mulch	C.Y.	\$35.00	12	\$420.00	Shredded Cedar - 3" depth
Deciduous Tree	EA.	\$350.00	15	\$5,250.00	2" caliper
Shrubs/Grasses/Perennial	S.F.	\$6.00	1,200	\$7,200.00	
CATEGORY SUBTOTAL				\$13,495.00	
SITE FURNISHINGS					
Planter Pots - Large	EA.	\$1,500.00	2	\$3,000.00	
Planter Pots - Small	EA.	\$1,200.00	6	\$7,200.00	
Bench	EA.	\$2,000.00	2	\$4,000.00	
Trash Receptacles	EA.	\$800.00	6	\$4,800.00	
Wayfinding	ALLOW	\$6,000.00	1	\$6,000.00	
CATEGORY SUBTOTAL				\$19,000.00	
IRRIGATION					
Irrigation	ALLOW	\$2,500.00	1	\$2,500.00	Irrigation adjustments/improvements
CATEGORY SUBTOTAL				\$2,500.00	
SUBTOTAL				\$203,545.00	
20% Masterplan Contingency				\$40,709.00	
15% Contractor Mobilization/General Conditions				\$30,531.75	
GRAND TOTAL				\$274,785.75	
9th Street					
DEMOLITION					
Remove existing Concrete and Asphalt	S.F.	\$3.00	17,000	\$51,000.00	
Saw Cutting Pavement for Removal	L.F.	\$8.00	50	\$400.00	
CATEGORY SUBTOTAL				\$51,400.00	
SITE WORK					
Grading Allowance	ALLOW	\$4,000.00	1	\$4,000.00	
Curb & Gutter	L.F.	\$20.00	300	\$6,000.00	
Unit Pavers	S.F.	\$10.00	16,000	\$160,000.00	
CATEGORY SUBTOTAL				\$170,000.00	
LANDSCAPE					
Soil Prep - Compost and fertilizer as required	C.Y.	\$25.00	55	\$1,375.00	All planted areas - 6" depth
Mulch	C.Y.	\$35.00	30	\$1,050.00	Shredded Cedar - 3" depth
Deciduous Tree	EA.	\$350.00	8	\$2,800.00	2" caliper
Shrubs/Grasses/Perennial	S.F.	\$6.00	3,000	\$18,000.00	
CATEGORY SUBTOTAL				\$23,225.00	
IRRIGATION					
Irrigation	ALLOW	\$2,500.00	1	\$2,500.00	Irrigation adjustments/improvements
CATEGORY SUBTOTAL				\$2,500.00	
SUBTOTAL				\$247,125.00	
20% Masterplan Contingency				\$49,425.00	
15% Contractor Mobilization/General Conditions				\$37,068.75	
GRAND TOTAL				\$333,618.75	



Sheridan Avenue Streetscape Master Plan

Estimate of Probable Costs

Plan Date: April 2012

Prepared by: Russell + Mills Studios

ITEM	UNIT	UNIT COST	QTY.	EXTENDED COST	NOTES
Sheridan Avenue Block 9					
North Side of Street					
DEMOLITION					
Remove existing Concrete and Asphalt	S.F.	\$3.00	4,100	\$12,300.00	
Remove Curb & Gutter	L.F.	\$9.00	160	\$1,440.00	
Saw Cutting Pavement for Removal	L.F.	\$8.00	400	\$3,200.00	
CATEGORY SUBTOTAL				\$16,940.00	
LIGHTING					
Pedestrian Light/Hanging Baskets	EA	\$12,000.00	4	\$48,000.00	
CATEGORY SUBTOTAL				\$48,000.00	
SITE WORK					
Grading Allowance	ALLOW	\$2,000.00	1	\$2,000.00	
Curb & Gutter	L.F.	\$20.00	240	\$4,800.00	
6" Concrete Edge	L.F.	\$15.00	250	\$3,750.00	
Unit Pavers	S.F.	\$7.00	2,600	\$18,200.00	
2.5' Unit Pavers Band	S.F.	\$7.00	870	\$6,090.00	
Historical Quote Pavers	EA	\$150.00	5	\$750.00	
Concrete Sandblasting	ALLOW	\$1,000.00	1	\$1,000.00	
Seat Wall	F.F.	\$100.00	115	\$11,500.00	18" ht-sandstone faced
Parking Stripping	ALLOW	\$2,000.00	1	\$2,000.00	
CATEGORY SUBTOTAL				\$50,090.00	
LANDSCAPE					
Soil Prep - Compost and fertilizer as required	C.Y.	\$25.00	20	\$500.00	All planted areas - 6" depth
Mulch	C.Y.	\$35.00	10	\$350.00	Shredded Cedar - 3" depth
Shrubs/Grasses/Perennial	S.F.	\$6.00	1,100	\$6,600.00	
CATEGORY SUBTOTAL				\$7,450.00	
SITE FURNISHINGS					
Planter Pots - Large	EA.	\$1,500.00	4	\$6,000.00	
Planter Pots - Small	EA.	\$1,200.00	6	\$7,200.00	
Bench	EA.	\$2,000.00	2	\$4,000.00	
Tree Grates	EA.	\$2,000.00	2	\$4,000.00	
Trash Receptacles	EA.	\$800.00	6	\$4,800.00	
Wayfinding	ALLOW	\$7,000.00	1	\$7,000.00	
CATEGORY SUBTOTAL				\$33,000.00	
IRRIGATION					
Irrigation	ALLOW	\$2,500.00	1	\$2,500.00	Irrigation adjustments/improvements
CATEGORY SUBTOTAL				\$2,500.00	
SUBTOTAL				\$157,980.00	
20% Masterplan Contingency				\$31,596.00	
15% Contractor Mobilization/General Conditions				\$23,697.00	
GRAND TOTAL				\$213,273.00	
Sheridan Avenue Block 9					
South Side of Street					
DEMOLITION					
Remove existing Concrete and Asphalt	S.F.	\$3.00	3,500	\$10,500.00	
Remove Curb & Gutter	L.F.	\$9.00	160	\$1,440.00	
Saw Cutting Pavement for Removal	L.F.	\$8.00	400	\$3,200.00	
CATEGORY SUBTOTAL				\$15,140.00	
LIGHTING					
Pedestrian Light/Hanging Baskets	EA	\$12,000.00	4	\$48,000.00	
CATEGORY SUBTOTAL				\$48,000.00	
SITE WORK					
Grading Allowance	ALLOW	\$2,000.00	1	\$2,000.00	
Curb & Gutter	L.F.	\$20.00	200	\$4,000.00	

6" Concrete Edge	L.F.	\$15.00	250	\$3,750.00	
Unit Pavers	S.F.	\$7.00	2,300	\$16,100.00	
2.5' Unit Pavers Band	S.F.	\$7.00	850	\$5,950.00	
Historical Quote Pavers	EA	\$150.00	5	\$750.00	
Concrete Sandblasting	ALLOW	\$1,000.00	1	\$1,000.00	
Seat Wall	F.F.	\$100.00	130	\$13,000.00	18" ht-sandstone faced
Parking Stripping	ALLOW	\$2,000.00	1	\$2,000.00	
CATEGORY SUBTOTAL				\$48,550.00	
LANDSCAPE					
Soil Prep - Compost and fertilizer as required	C.Y.	\$25.00	15	\$375.00	All planted areas - 6" depth
Mulch	C.Y.	\$35.00	8	\$280.00	Shredded Cedar - 3" depth
Shrubs/Grasses/Perennial	S.F.	\$6.00	800	\$4,800.00	
CATEGORY SUBTOTAL				\$5,455.00	
SITE FURNISHINGS					
Planter Pots - Large	EA.	\$1,500.00	4	\$6,000.00	
Planter Pots - Small	EA.	\$1,200.00	10	\$12,000.00	
Bench	EA.	\$2,000.00	4	\$8,000.00	
Tree Grates	EA.	\$2,000.00	2	\$4,000.00	
Trash Receptacles	EA.	\$800.00	6	\$4,800.00	
Wayfinding	ALLOW	\$3,500.00	1	\$3,500.00	
CATEGORY SUBTOTAL				\$38,300.00	
IRRIGATION					
Irrigation	ALLOW	\$2,500.00	1	\$2,500.00	Irrigation adjustments/improvements
CATEGORY SUBTOTAL				\$2,500.00	
SUBTOTAL				\$157,945.00	
20% Masterplan Contingency				\$31,589.00	
15% Contractor Mobilization/General Conditions				\$23,691.75	
GRAND TOTAL				\$213,225.75	
10th Street					
LIGHTING					
Pedestrian Light (re-used)	EA	\$1,000.00	8	\$8,000.00	
CATEGORY SUBTOTAL				\$8,000.00	
SITE WORK					
4" Thk Concrete	S.F.	\$4.00	850	\$3,400.00	
CATEGORY SUBTOTAL				\$3,400.00	
LANDSCAPE					
Deciduous Tree	EA.	\$350.00	6	\$2,100.00	2" caliper
CATEGORY SUBTOTAL				\$2,100.00	
IRRIGATION					
Irrigation	ALLOW	\$2,500.00	1	\$2,500.00	Irrigation adjustments/improvements
CATEGORY SUBTOTAL				\$2,500.00	
SUBTOTAL				\$16,000.00	
20% Masterplan Contingency				\$3,200.00	
15% Contractor Mobilization/General Conditions				\$2,400.00	
GRAND TOTAL				\$21,600.00	



Sheridan Avenue Streetscape Master Plan

Estimate of Probable Costs

Plan Date: April 2012

Prepared by: Russell + Mills Studios

ITEM	UNIT	UNIT COST	QTY.	EXTENDED COST	NOTES
Sheridan Avenue Block 10					
North Side of Street					
DEMOLITION					
Remove existing Concrete and Asphalt	S.F.	\$3.00	3,900	\$11,700.00	
Remove Curb & Gutter	L.F.	\$9.00	140	\$1,260.00	
Saw Cutting Pavement for Removal	L.F.	\$8.00	310	\$2,480.00	
CATEGORY SUBTOTAL				\$15,440.00	
LIGHTING					
Pedestrian Light/Hanging Baskets	EA	\$12,000.00	3	\$36,000.00	
CATEGORY SUBTOTAL				\$36,000.00	
SITE WORK					
Grading Allowance	ALLOW	\$2,000.00	1	\$2,000.00	
Curb & Gutter	L.F.	\$20.00	220	\$4,400.00	
6" Concrete Edge	L.F.	\$15.00	300	\$4,500.00	
Unit Pavers	S.F.	\$7.00	2,700	\$18,900.00	
2.5' Unit Pavers Band	S.F.	\$7.00	700	\$4,900.00	
Historical Quote Pavers	EA	\$150.00	10	\$1,500.00	
Concrete Sandblasting	ALLOW	\$2,000.00	1	\$2,000.00	
Seat Wall	F.F.	\$100.00	135	\$13,500.00	18" ht-sandstone faced
Parking Stripping	ALLOW	\$2,000.00	1	\$2,000.00	
CATEGORY SUBTOTAL				\$53,700.00	
LANDSCAPE					
Soil Prep - Compost and fertilizer as required	C.Y.	\$25.00	20	\$500.00	All planted areas - 6" depth
Mulch	C.Y.	\$35.00	10	\$350.00	Shredded Cedar - 3" depth
Deciduous Tree	EA	\$350.00	4	\$1,400.00	2" caliper
Shrubs/Grasses/Perennial	S.F.	\$6.00	1,000	\$6,000.00	
CATEGORY SUBTOTAL				\$8,250.00	
SITE FURNISHINGS					
Planter Pots - Large	EA.	\$1,500.00	4	\$6,000.00	
Planter Pots - Small	EA.	\$1,200.00	4	\$4,800.00	
Bench	EA.	\$2,000.00	4	\$8,000.00	
Tree Grates	EA.	\$2,000.00	4	\$8,000.00	
Trash Receptacles	EA.	\$800.00	6	\$4,800.00	
Wayfinding	ALLOW	\$7,000.00	1	\$7,000.00	
CATEGORY SUBTOTAL				\$38,600.00	
IRRIGATION					
Irrigation	ALLOW	\$2,500.00	1	\$2,500.00	Irrigation adjustments/improvements
CATEGORY SUBTOTAL				\$2,500.00	
SUBTOTAL				\$154,490.00	
20% Masterplan Contingency				\$30,898.00	
15% Contractor Mobilization/General Conditions				\$23,173.50	
GRAND TOTAL				\$208,561.50	
Sheridan Avenue Block 10					
South Side of Street					
DEMOLITION					
Remove existing Concrete and Asphalt	S.F.	\$3.00	4,400	\$13,200.00	
Remove Curb & Gutter	L.F.	\$9.00	140	\$1,260.00	
Saw Cutting Pavement for Removal	L.F.	\$8.00	380	\$3,040.00	
CATEGORY SUBTOTAL				\$17,500.00	
LIGHTING					
Pedestrian Light/Hanging Baskets	EA	\$12,000.00	3	\$36,000.00	
CATEGORY SUBTOTAL				\$36,000.00	
SITE WORK					
Grading Allowance	ALLOW	\$2,000.00	1	\$2,000.00	

Curb & Gutter	L.F.	\$20.00	240	\$4,800.00	
6" Concrete Edge	L.F.	\$15.00	350	\$5,250.00	
Unit Pavers	S.F.	\$7.00	3,350	\$23,450.00	
2.5' Unit Pavers Band	S.F.	\$7.00	850	\$5,950.00	
Historical Quote Pavers	EA	\$150.00	10	\$1,500.00	
Concrete Sandblasting	ALLOW	\$2,000.00	1	\$2,000.00	
Seat Wall	F.F.	\$100.00	165	\$16,500.00	18" ht-sandstone faced
Parking Stripping	ALLOW	\$2,000.00	1	\$2,000.00	
CATEGORY SUBTOTAL				\$63,450.00	
LANDSCAPE					
Soil Prep - Compost and fertilizer as required	C.Y.	\$25.00	17	\$425.00	All planted areas - 6" depth
Mulch	C.Y.	\$35.00	9	\$315.00	Shredded Cedar - 3" depth
Deciduous Tree	EA.	\$350.00	2	\$700.00	2" caliper
Shrubs/Grasses/Perennial	S.F.	\$6.00	900	\$5,400.00	
CATEGORY SUBTOTAL				\$6,840.00	
SITE FURNISHINGS					
Planter Pots - Large	EA.	\$1,500.00	4	\$6,000.00	
Planter Pots - Small	EA.	\$1,200.00	14	\$16,800.00	
Bench	EA.	\$2,000.00	6	\$12,000.00	
Tree Grates	EA.	\$2,000.00	4	\$8,000.00	
Trash Receptacles	EA.	\$800.00	6	\$4,800.00	
Wayfinding	ALLOW	\$3,500.00	1	\$3,500.00	
CATEGORY SUBTOTAL				\$51,100.00	
IRRIGATION					
Irrigation	ALLOW	\$2,500.00	1	\$2,500.00	Irrigation adjustments/improvements
CATEGORY SUBTOTAL				\$2,500.00	
SUBTOTAL				\$177,390.00	
20% Masterplan Contingency				\$35,478.00	
15% Contractor Mobilization/General Conditions				\$26,608.50	
GRAND TOTAL				\$239,476.50	
11th Street					
LIGHTING					
Pedestrian Light (re-used)	EA	\$1,000.00	18	\$18,000.00	
CATEGORY SUBTOTAL				\$18,000.00	
SITE WORK					
4" Thk Concrete	S.F.	\$4.00	300	\$1,200.00	
CATEGORY SUBTOTAL				\$1,200.00	
LANDSCAPE					
Deciduous Tree	EA.	\$350.00	2	\$700.00	2" caliper
CATEGORY SUBTOTAL				\$700.00	
IRRIGATION					
Irrigation	ALLOW	\$1,500.00	1	\$1,500.00	Irrigation adjustments/improvements
CATEGORY SUBTOTAL				\$1,500.00	
SUBTOTAL				\$21,400.00	
20% Masterplan Contingency				\$4,280.00	
15% Contractor Mobilization/General Conditions				\$3,210.00	
GRAND TOTAL				\$28,890.00	



Sheridan Avenue Streetscape Master Plan

Estimate of Probable Costs

Plan Date: April 2012

Prepared by: Russell + Mills Studios

ITEM	UNIT	UNIT COST	QTY.	EXTENDED COST	NOTES
Sheridan Avenue Block 11					
North Side of Street					
DEMOLITION					
Remove existing Concrete and Asphalt	S.F.	\$3.00	4,400	\$13,200.00	
Remove Curb & Gutter	L.F.	\$9.00	160	\$1,440.00	
Saw Cutting Pavement for Removal	L.F.	\$8.00	400	\$3,200.00	
CATEGORY SUBTOTAL				\$17,840.00	
LIGHTING					
Pedestrian Light/Hanging Baskets	EA	\$12,000.00	7	\$84,000.00	
CATEGORY SUBTOTAL				\$84,000.00	
SITE WORK					
Grading Allowance	ALLOW	\$2,000.00	1	\$2,000.00	
Curb & Gutter	L.F.	\$20.00	280	\$5,600.00	
6" Concrete Edge	L.F.	\$15.00	280	\$4,200.00	
Unit Pavers	S.F.	\$7.00	2,900	\$20,300.00	
2.5' Unit Pavers Band	S.F.	\$7.00	900	\$6,300.00	
Historical Quote Pavers	EA	\$150.00	10	\$1,500.00	
Concrete Sandblasting	ALLOW	\$2,000.00	1	\$2,000.00	
Seat Wall	F.F.	\$100.00	150	\$15,000.00	18" ht-sandstone faced
Parking Stripping	ALLOW	\$2,000.00	1	\$2,000.00	
CATEGORY SUBTOTAL				\$58,900.00	
LANDSCAPE					
Soil Prep - Compost and fertilizer as required	C.Y.	\$25.00	22	\$550.00	All planted areas - 6" depth
Mulch	C.Y.	\$35.00	11	\$385.00	Shredded Cedar - 3" depth
Shrubs/Grasses/Perennial	S.F.	\$6.00	1,200	\$7,200.00	
CATEGORY SUBTOTAL				\$8,135.00	
SITE FURNISHINGS					
Planter Pots - Large	EA.	\$1,500.00	4	\$6,000.00	
Planter Pots - Small	EA.	\$1,200.00	30	\$36,000.00	
Bench	EA.	\$2,000.00	4	\$8,000.00	
Tree Grates	EA.	\$2,000.00	6	\$12,000.00	
Trash Receptacles	EA.	\$800.00	6	\$4,800.00	
Wayfinding	ALLOW	\$8,000.00	1	\$8,000.00	
CATEGORY SUBTOTAL				\$74,800.00	
IRRIGATION					
Irrigation	ALLOW	\$2,500.00	1	\$2,500.00	Irrigation adjustments/improvements
CATEGORY SUBTOTAL				\$2,500.00	
SUBTOTAL				\$246,175.00	
20% Masterplan Contingency				\$49,235.00	
15% Contractor Mobilization/General Conditions				\$36,926.25	
GRAND TOTAL				\$332,336.25	
Sheridan Avenue Block 11					
South Side of Street					
DEMOLITION					
Remove existing Concrete and Asphalt	S.F.	\$3.00	4,800	\$14,400.00	
Remove Curb & Gutter	L.F.	\$9.00	140	\$1,260.00	
Saw Cutting Pavement for Removal	L.F.	\$8.00	400	\$3,200.00	
CATEGORY SUBTOTAL				\$18,860.00	
LIGHTING					
Pedestrian Light/Hanging Baskets	EA	\$12,000.00	7	\$84,000.00	
CATEGORY SUBTOTAL				\$84,000.00	
SITE WORK					
Grading Allowance	ALLOW	\$2,000.00	1	\$2,000.00	
Curb & Gutter	L.F.	\$20.00	240	\$4,800.00	

6" Concrete Edge	L.F.	\$15.00	360	\$5,400.00	
Unit Pavers	S.F.	\$7.00	4,200	\$29,400.00	
2.5' Unit Pavers Band	S.F.	\$7.00	750	\$5,250.00	
Historical Quote Pavers	EA	\$150.00	10	\$1,500.00	
Concrete Sandblasting	ALLOW	\$2,000.00	1	\$2,000.00	
Seat Wall	F.F.	\$100.00	320	\$32,000.00	18" ht-sandstone faced
Parking Stripping	ALLOW	\$2,000.00	1	\$2,000.00	
CATEGORY SUBTOTAL				\$84,350.00	
LANDSCAPE					
Soil Prep - Compost and fertilizer as required	C.Y.	\$25.00	20	\$500.00	All planted areas - 6" depth
Mulch	C.Y.	\$35.00	10	\$350.00	Shredded Cedar - 3" depth
Shrubs/Grasses/Perennial	S.F.	\$6.00	1,100	\$6,600.00	
CATEGORY SUBTOTAL				\$7,450.00	
SITE FURNISHINGS					
Planter Pots - Large	EA.	\$1,500.00	4	\$6,000.00	
Planter Pots - Small	EA.	\$1,200.00	25	\$30,000.00	
Bench	EA.	\$2,000.00	5	\$10,000.00	
Tree Grates	EA.	\$2,000.00	6	\$12,000.00	
Trash Receptacles	EA.	\$800.00	6	\$4,800.00	
Wayfinding	ALLOW	\$8,000.00	1	\$8,000.00	
CATEGORY SUBTOTAL				\$70,800.00	
IRRIGATION					
Irrigation	ALLOW	\$2,500.00	1	\$2,500.00	Irrigation adjustments/improvements
CATEGORY SUBTOTAL				\$2,500.00	
SUBTOTAL				\$267,960.00	
20% Masterplan Contingency				\$53,592.00	
15% Contractor Mobilization/General Conditions				\$40,194.00	
GRAND TOTAL				\$361,746.00	
12th Street					
DEMOLITION					
Remove existing Concrete and Asphalt	S.F.	\$3.00	6,000	\$18,000.00	
Saw Cutting Pavement for Removal	L.F.	\$8.00	1,000	\$8,000.00	
CATEGORY SUBTOTAL				\$26,000.00	
LIGHTING					
Pedestrian Light (re-used)	EA	\$1,000.00	14	\$14,000.00	
CATEGORY SUBTOTAL				\$14,000.00	
SITE WORK					
Grading Allowance	ALLOW	\$6,000.00	1	\$6,000.00	
6" Concrete Edge	L.F.	\$15.00	320	\$4,800.00	
Unit Pavers	S.F.	\$7.00	3,500	\$24,500.00	
2.5' Unit Pavers Band	S.F.	\$7.00	1,700	\$11,900.00	
Unit Pavers	S.F.	\$10.00	16,000	\$160,000.00	
CATEGORY SUBTOTAL				\$207,200.00	
LANDSCAPE					
Soil Prep - Compost and fertilizer as required	C.Y.	\$25.00	55	\$1,375.00	All planted areas - 6" depth
Mulch	C.Y.	\$35.00	30	\$1,050.00	Shredded Cedar - 3" depth
Deciduous Tree	EA.	\$350.00	20	\$7,000.00	2" caliper
Shrubs/Grasses/Perennial	S.F.	\$6.00	3,000	\$18,000.00	
CATEGORY SUBTOTAL				\$27,425.00	
SITE FURNISHINGS					
Tree Grates	EA.	\$2,000.00	20	\$40,000.00	
CATEGORY SUBTOTAL				\$40,000.00	
IRRIGATION					
Irrigation	ALLOW	\$4,000.00	1	\$4,000.00	Irrigation adjustments/improvements
CATEGORY SUBTOTAL				\$4,000.00	
SUBTOTAL				\$318,625.00	
20% Masterplan Contingency				\$63,725.00	
15% Contractor Mobilization/General Conditions				\$47,793.75	
GRAND TOTAL				\$430,143.75	



Sheridan Avenue Streetscape Master Plan

Estimate of Probable Costs

Plan Date: April 2012

Prepared by: Russell + Mills Studios

ITEM	UNIT	UNIT COST	QTY.	EXTENDED COST	NOTES
Sheridan Avenue Block 12					
North Side of Street					
DEMOLITION					
Remove existing Concrete and Asphalt	S.F.	\$3.00	4,500	\$13,500.00	
Remove Curb & Gutter	L.F.	\$9.00	140	\$1,260.00	
Saw Cutting Pavement for Removal	L.F.	\$8.00	400	\$3,200.00	
CATEGORY SUBTOTAL				\$17,960.00	
LIGHTING					
Pedestrian Light/Hanging Baskets	EA	\$12,000.00	7	\$84,000.00	
CATEGORY SUBTOTAL				\$84,000.00	
SITE WORK					
Grading Allowance	ALLOW	\$2,000.00	1	\$2,000.00	
Curb & Gutter	L.F.	\$20.00	270	\$5,400.00	
6" Concrete Edge	L.F.	\$15.00	300	\$4,500.00	
Unit Pavers	S.F.	\$7.00	3,200	\$22,400.00	
2.5' Unit Pavers Band	S.F.	\$7.00	850	\$5,950.00	
Historical Quote Pavers	EA	\$150.00	10	\$1,500.00	
Concrete Sandblasting	ALLOW	\$2,000.00	1	\$2,000.00	
Seat Wall	F.F.	\$100.00	165	\$16,500.00	18" ht-sandstone faced
Parking Stripping	ALLOW	\$2,000.00	1	\$2,000.00	
CATEGORY SUBTOTAL				\$62,250.00	
LANDSCAPE					
Soil Prep - Compost and fertilizer as required	C.Y.	\$25.00	16	\$400.00	All planted areas - 6" depth
Mulch	C.Y.	\$35.00	8	\$280.00	Shredded Cedar - 3" depth
Shrubs/Grasses/Perennial	S.F.	\$6.00	850	\$5,100.00	
CATEGORY SUBTOTAL				\$5,780.00	
SITE FURNISHINGS					
Planter Pots - Large	EA.	\$1,500.00	4	\$6,000.00	
Planter Pots - Small	EA.	\$1,200.00	35	\$42,000.00	
Bench	EA.	\$2,000.00	6	\$12,000.00	
Tree Grates	EA.	\$2,000.00	6	\$12,000.00	
Trash Receptacles	EA.	\$800.00	6	\$4,800.00	
Wayfinding	ALLOW	\$8,000.00	1	\$8,000.00	
CATEGORY SUBTOTAL				\$84,800.00	
IRRIGATION					
Irrigation	ALLOW	\$2,500.00	1	\$2,500.00	Irrigation adjustments/improvements
CATEGORY SUBTOTAL				\$2,500.00	
SUBTOTAL				\$257,290.00	
20% Masterplan Contingency				\$51,458.00	
15% Contractor Mobilization/General Conditions				\$38,593.50	
GRAND TOTAL				\$347,341.50	
Sheridan Avenue Block 12					
South Side of Street					
DEMOLITION					
Remove existing Concrete and Asphalt	S.F.	\$3.00	4,200	\$12,600.00	
Remove Curb & Gutter	L.F.	\$9.00	140	\$1,260.00	
Saw Cutting Pavement for Removal	L.F.	\$8.00	400	\$3,200.00	
CATEGORY SUBTOTAL				\$17,060.00	
LIGHTING					
Pedestrian Light/Hanging Baskets	EA	\$12,000.00	7	\$84,000.00	
CATEGORY SUBTOTAL				\$84,000.00	
SITE WORK					
Grading Allowance	ALLOW	\$2,000.00	1	\$2,000.00	
Curb & Gutter	L.F.	\$20.00	250	\$5,000.00	
6" Concrete Edge	L.F.	\$15.00	340	\$5,100.00	
Unit Pavers	S.F.	\$7.00	3,000	\$21,000.00	

2.5' Unit Pavers Band	S.F.	\$7.00	950	\$6,650.00	
Historical Quote Pavers	EA	\$150.00	10	\$1,500.00	
Concrete Sandblasting	ALLOW	\$2,000.00	1	\$2,000.00	
Seat Wall	F.F.	\$100.00	165	\$16,500.00	18" ht-sandstone faced
Parking Stripping	ALLOW	\$2,000.00	1	\$2,000.00	
CATEGORY SUBTOTAL				\$61,750.00	
LANDSCAPE					
Soil Prep - Compost and fertilizer as required	C.Y.	\$25.00	16	\$400.00	All planted areas - 6" depth
Mulch	C.Y.	\$35.00	8	\$280.00	Shredded Cedar - 3" depth
Shrubs/Grasses/Perennial	S.F.	\$6.00	850	\$5,100.00	
CATEGORY SUBTOTAL				\$5,780.00	
SITE FURNISHINGS					
Planter Pots - Large	EA.	\$1,500.00	4	\$6,000.00	
Planter Pots - Small	EA.	\$1,200.00	35	\$42,000.00	
Bench	EA.	\$2,000.00	6	\$12,000.00	
Tree Grates	EA.	\$2,000.00	6	\$12,000.00	
Trash Receptacles	EA.	\$800.00	6	\$4,800.00	
Wayfinding	ALLOW	\$8,000.00	1	\$8,000.00	
CATEGORY SUBTOTAL				\$84,800.00	
IRRIGATION					
Irrigation	ALLOW	\$2,500.00	1	\$2,500.00	Irrigation adjustments/improvements
CATEGORY SUBTOTAL				\$2,500.00	
SUBTOTAL				\$255,890.00	
20% Masterplan Contingency				\$51,178.00	
15% Contractor Mobilization/General Conditions				\$38,383.50	
GRAND TOTAL				\$345,451.50	
13th Street					
DEMOLITION					
Remove existing Concrete and Asphalt	S.F.	\$3.00	2,500	\$7,500.00	
Saw Cutting Pavement for Removal	L.F.	\$8.00	1,100	\$8,800.00	
CATEGORY SUBTOTAL				\$16,300.00	
LIGHTING					
Pedestrian Light (re-used)	EA	\$1,000.00	18	\$18,000.00	
CATEGORY SUBTOTAL				\$18,000.00	
SITE WORK					
2.5' Unit Pavers Band	S.F.	\$7.00	2,500	\$17,500.00	
CATEGORY SUBTOTAL				\$17,500.00	
LANDSCAPE					
Deciduous Tree	EA.	\$350.00	14	\$4,900.00	2" caliper
CATEGORY SUBTOTAL				\$4,900.00	
SITE FURNISHINGS					
Tree Grates	EA.	\$2,000.00	7	\$14,000.00	
CATEGORY SUBTOTAL				\$14,000.00	
IRRIGATION					
Irrigation	ALLOW	\$3,500.00	1	\$3,500.00	Irrigation adjustments/improvements
CATEGORY SUBTOTAL				\$3,500.00	
SUBTOTAL				\$74,200.00	
20% Masterplan Contingency				\$14,840.00	
15% Contractor Mobilization/General Conditions				\$11,130.00	
GRAND TOTAL				\$100,170.00	



Sheridan Avenue Streetscape Master Plan

Cost Estimates - 12th to 13th St

Sheridan Avenue Streetscape Master Plan

Estimate of Probable Costs

Plan Date: April 2012

Prepared by: Russell + Mills Studios

ITEM	UNIT	UNIT COST	QTY.	EXTENDED COST	NOTES
Sheridan Avenue Block 13					
North Side of Street					
DEMOLITION					
Remove existing Concrete and Asphalt	S.F.	\$3.00	4,500	\$13,500.00	
Remove Curb & Gutter	L.F.	\$9.00	140	\$1,260.00	
Saw Cutting Pavement for Removal	L.F.	\$8.00	400	\$3,200.00	
	CATEGORY SUBTOTAL			\$17,960.00	
LIGHTING					
Pedestrian Light/Hanging Baskets	EA	\$12,000.00	8	\$96,000.00	
	CATEGORY SUBTOTAL			\$96,000.00	
SITE WORK					
Grading Allowance	ALLOW	\$2,000.00	1	\$2,000.00	
Curb & Gutter	L.F.	\$20.00	260	\$5,200.00	
6" Concrete Edge	L.F.	\$15.00	310	\$4,650.00	
Unit Pavers	S.F.	\$7.00	3,300	\$23,100.00	
2.5' Unit Pavers Band	S.F.	\$7.00	850	\$5,950.00	
Historical Quote Pavers	EA	\$150.00	10	\$1,500.00	
Concrete Sandblasting	ALLOW	\$2,000.00	1	\$2,000.00	
Seat Wall	F.F.	\$100.00	165	\$16,500.00	18" ht-sandstone faced
Parking Stripping	ALLOW	\$2,000.00	1	\$2,000.00	
	CATEGORY SUBTOTAL			\$62,900.00	
LANDSCAPE					
Soil Prep - Compost and fertilizer as required	C.Y.	\$25.00	6	\$150.00	All planted areas - 6" depth
Mulch	C.Y.	\$35.00	8	\$280.00	Shredded Cedar - 3" depth
Shrubs/Grasses/Perennial	S.F.	\$6.00	800	\$4,800.00	
	CATEGORY SUBTOTAL			\$5,230.00	
SITE FURNISHINGS					
Planter Pots - Large	EA.	\$1,500.00	4	\$6,000.00	
Planter Pots - Small	EA.	\$1,200.00	30	\$36,000.00	
Bench	EA.	\$2,000.00	4	\$8,000.00	
Tree Grates	EA.	\$2,000.00	6	\$12,000.00	
Trash Receptacles	EA.	\$800.00	6	\$4,800.00	
Wayfinding	ALLOW	\$8,000.00	1	\$8,000.00	
	CATEGORY SUBTOTAL			\$74,800.00	
IRRIGATION					
Irrigation	ALLOW	\$2,500.00	1	\$2,500.00	Irrigation adjustments/improvements
	CATEGORY SUBTOTAL			\$2,500.00	
				SUBTOTAL	
				\$259,390.00	
				20% Masterplan Contingency	
				\$51,878.00	
				15% Contractor Mobilization/General Conditions	
				\$38,908.50	
				GRAND TOTAL	
				\$350,176.50	
Sheridan Avenue Block 13					
South Side of Street					
DEMOLITION					
Remove existing Concrete and Asphalt	S.F.	\$3.00	3,500	\$10,500.00	
Remove Curb & Gutter	L.F.	\$9.00	140	\$1,260.00	
Saw Cutting Pavement for Removal	L.F.	\$8.00	350	\$2,800.00	
	CATEGORY SUBTOTAL			\$14,560.00	
LIGHTING					
Pedestrian Light/Hanging Baskets	EA	\$12,000.00	8	\$96,000.00	
	CATEGORY SUBTOTAL			\$96,000.00	
SITE WORK					
Grading Allowance	ALLOW	\$2,000.00	1	\$2,000.00	
Curb & Gutter	L.F.	\$20.00	250	\$5,000.00	
6" Concrete Edge	L.F.	\$15.00	280	\$4,200.00	
Unit Pavers	S.F.	\$7.00	2,400	\$16,800.00	
2.5' Unit Pavers Band	S.F.	\$7.00	800	\$5,600.00	
Historical Quote Pavers	EA	\$150.00	10	\$1,500.00	
Concrete Sandblasting	ALLOW	\$2,000.00	1	\$2,000.00	
Seat Wall	F.F.	\$100.00	100	\$10,000.00	18" ht-sandstone faced
Parking Stripping	ALLOW	\$2,000.00	1	\$2,000.00	
	CATEGORY SUBTOTAL			\$49,100.00	
LANDSCAPE					
Soil Prep - Compost and fertilizer as required	C.Y.	\$25.00	20	\$500.00	All planted areas - 6" depth
Mulch	C.Y.	\$35.00	10	\$350.00	Shredded Cedar - 3" depth
Shrubs/Grasses/Perennial	S.F.	\$6.00	1,000	\$6,000.00	
	CATEGORY SUBTOTAL			\$6,850.00	

SITE FURNISHINGS					
Planter Pots - Large	EA.	\$1,500.00	4	\$6,000.00	
Planter Pots - Small	EA.	\$1,200.00	25	\$30,000.00	
Bench	EA.	\$2,000.00	4	\$8,000.00	
Tree Grates	EA.	\$2,000.00	2	\$4,000.00	
Trash Receptacles	EA.	\$800.00	6	\$4,800.00	
Wayfinding	ALLOW	\$8,000.00	1	\$8,000.00	
	CATEGORY SUBTOTAL			\$60,800.00	
IRRIGATION					
Irrigation	ALLOW	\$2,500.00	1	\$2,500.00	Irrigation adjustments/improvements
	CATEGORY SUBTOTAL			\$2,500.00	
				SUBTOTAL	
				\$229,810.00	
				20% Masterplan Contingency	
				\$45,962.00	
				15% Contractor Mobilization/General Conditions	
				\$34,471.50	
				GRAND TOTAL	
				\$310,243.50	
Sheridan Avenue Block 13 - Amphitheater					
South Side of Street					
DEMOLITION					
Remove existing Concrete and Asphalt	S.F.	\$3.00	4,000	\$12,000.00	
Saw Cutting Pavement for Removal	L.F.	\$8.00	100	\$800.00	
	CATEGORY SUBTOTAL			\$12,800.00	
LIGHTING					
Pedestrian Light/Hanging Baskets	EA	\$12,000.00	2	\$24,000.00	
	CATEGORY SUBTOTAL			\$24,000.00	
SITE WORK					
Grading Allowance	ALLOW	\$3,000.00	1	\$3,000.00	
6" Concrete Edge	L.F.	\$15.00	100	\$1,500.00	
Unit Pavers	S.F.	\$7.00	2,000	\$14,000.00	
4" Thk Concrete	S.F.	\$4.00	600	\$2,400.00	
Amphitheater Seats	F.F.	\$100.00	250	\$25,000.00	
	CATEGORY SUBTOTAL			\$45,900.00	
LANDSCAPE					
Soil Prep - Compost and fertilizer as required	C.Y.	\$25.00	20	\$500.00	All planted areas - 6" depth
Mulch	C.Y.	\$35.00	10	\$350.00	Shredded Cedar - 3" depth
Deciduous Tree	EA.	\$350.00	10	\$3,500.00	2" caliper
Shrubs/Grasses/Perennial	S.F.	\$6.00	1,000	\$6,000.00	
	CATEGORY SUBTOTAL			\$10,350.00	
SITE FURNISHINGS					
Tree Grates	EA.	\$2,000.00	2	\$4,000.00	
Trash Receptacles	EA.	\$800.00	2	\$1,600.00	
	CATEGORY SUBTOTAL			\$5,600.00	
IRRIGATION					
Irrigation	ALLOW	\$3,000.00	1	\$3,000.00	Irrigation adjustments/improvements
	CATEGORY SUBTOTAL			\$3,000.00	
				SUBTOTAL	
				\$101,650.00	
				20% Masterplan Contingency	
				\$20,330.00	
				15% Contractor Mobilization/General Conditions	
				\$15,247.50	
				GRAND TOTAL	
				\$137,227.50	
14th Street					
DEMOLITION					
Remove existing Concrete and Asphalt	S.F.	\$3.00	1,000	\$3,000.00	
Remove Curb & Gutter	L.F.	\$9.00	110	\$990.00	
Saw Cutting Pavement for Removal	L.F.	\$8.00	400	\$3,200.00	
	CATEGORY SUBTOTAL			\$7,190.00	
LIGHTING					
Pedestrian Light (re-used)	EA	\$1,000.00	16	\$16,000.00	
	CATEGORY SUBTOTAL			\$16,000.00	
SITE WORK					
4" Thk Concrete	S.F.	\$4.00	3,000	\$12,000.00	
2.5' Unit Pavers Band	S.F.	\$7.00	1,300	\$9,100.00	
	CATEGORY SUBTOTAL			\$21,100.00	
LANDSCAPE					
Deciduous Tree	EA.	\$350.00	14	\$4,900.00	2" caliper
	CATEGORY SUBTOTAL			\$4,900.00	
SITE FURNISHINGS					
Tree Grates	EA.	\$2,000.00	11	\$22,000.00	
	CATEGORY SUBTOTAL			\$22,000.00	
				SUBTOTAL	
				\$71,190.00	
				20% Masterplan Contingency	
				\$14,238.00	
				15% Contractor Mobilization/General Conditions	
				\$10,678.50	
				GRAND TOTAL	
				\$96,106.50	



Sheridan Avenue Streetscape Master Plan

Estimate of Probable Costs

Plan Date: April 2012

Prepared by: Russell + Mills Studios

ITEM	UNIT	UNIT COST	QTY.	EXTENDED COST	NOTES
Sheridan Avenue Block 14					
North Side of Street					
DEMOLITION					
Remove existing Concrete and Asphalt	S.F.	\$3.00	4,200	\$12,600.00	
Remove Curb & Gutter	L.F.	\$9.00	160	\$1,440.00	
Saw Cutting Pavement for Removal	L.F.	\$8.00	330	\$2,640.00	
CATEGORY SUBTOTAL				\$16,680.00	
LIGHTING					
Pedestrian Light/Hanging Baskets	EA	\$12,000.00	3	\$36,000.00	
CATEGORY SUBTOTAL				\$36,000.00	
SITE WORK					
Grading Allowance	ALLOW	\$2,000.00	1	\$2,000.00	
Curb & Gutter	L.F.	\$20.00	260	\$5,200.00	
6" Concrete Edge	L.F.	\$15.00	280	\$4,200.00	
Unit Pavers	S.F.	\$7.00	2,600	\$18,200.00	
2.5' Unit Pavers Band	S.F.	\$7.00	700	\$4,900.00	
Historical Quote Pavers	EA	\$150.00	5	\$750.00	
Concrete Sandblasting	ALLOW	\$1,000.00	1	\$1,000.00	
Seat Wall	F.F.	\$100.00	110	\$11,000.00	18" ht-sandstone faced
Parking Stripping	ALLOW	\$2,000.00	1	\$2,000.00	
CATEGORY SUBTOTAL				\$49,250.00	
LANDSCAPE					
Soil Prep - Compost and fertilizer as required	C.Y.	\$25.00	22	\$550.00	All planted areas - 6" depth
Mulch	C.Y.	\$35.00	11	\$385.00	Shredded Cedar - 3" depth
Deciduous Tree	EA.	\$350.00	4	\$1,400.00	2" caliper
Shrubs/Grasses/Perennial	S.F.	\$6.00	1,200	\$7,200.00	
CATEGORY SUBTOTAL				\$9,535.00	
SITE FURNISHINGS					
Planter Pots - Large	EA.	\$1,500.00	4	\$6,000.00	
Planter Pots - Small	EA.	\$1,200.00	10	\$12,000.00	
Bench	EA.	\$2,000.00	4	\$8,000.00	
Tree Grates	EA.	\$2,000.00	4	\$8,000.00	
Trash Receptacles	EA.	\$800.00	6	\$4,800.00	
Wayfinding	ALLOW	\$5,000.00	1	\$5,000.00	
CATEGORY SUBTOTAL				\$43,800.00	
IRRIGATION					
Irrigation	ALLOW	\$2,500.00	1	\$2,500.00	Irrigation adjustments/improvements
CATEGORY SUBTOTAL				\$2,500.00	
				SUBTOTAL	\$157,765.00
				20% Masterplan Contingency	\$31,553.00
				15% Contractor Mobilization/General Conditions	\$23,664.75
				GRAND TOTAL	\$212,982.75
Sheridan Avenue Block 14					
South Side of Street					
DEMOLITION					
Remove existing Concrete and Asphalt	S.F.	\$3.00	3,500	\$10,500.00	
Remove Curb & Gutter	L.F.	\$9.00	140	\$1,260.00	
Saw Cutting Pavement for Removal	L.F.	\$8.00	350	\$2,800.00	
CATEGORY SUBTOTAL				\$14,560.00	
LIGHTING					
Pedestrian Light/Hanging Baskets	EA	\$12,000.00	3	\$36,000.00	
CATEGORY SUBTOTAL				\$36,000.00	
SITE WORK					
Grading Allowance	ALLOW	\$2,000.00	1	\$2,000.00	

Curb & Gutter	L.F.	\$20.00	250	\$5,000.00	
6" Concrete Edge	L.F.	\$15.00	280	\$4,200.00	
Unit Pavers	S.F.	\$7.00	2,400	\$16,800.00	
2.5' Unit Pavers Band	S.F.	\$7.00	800	\$5,600.00	
Historical Quote Pavers	EA	\$150.00	5	\$750.00	
Concrete Sandblasting	ALLOW	\$1,000.00	1	\$1,000.00	
Seat Wall	F.F.	\$100.00	100	\$10,000.00	18" ht-sandstone faced
Parking Stripping	ALLOW	\$2,000.00	1	\$2,000.00	
CATEGORY SUBTOTAL				\$47,350.00	
LANDSCAPE					
Soil Prep - Compost and fertilizer as required	C.Y.	\$25.00	20	\$500.00	All planted areas - 6" depth
Mulch	C.Y.	\$35.00	10	\$350.00	Shredded Cedar - 3" depth
Deciduous Tree	EA.	\$350.00	3	\$1,050.00	2" caliper
Shrubs/Grasses/Perennial	S.F.	\$6.00	1,000	\$6,000.00	
CATEGORY SUBTOTAL				\$7,900.00	
SITE FURNISHINGS					
Planter Pots - Large	EA.	\$1,500.00	4	\$6,000.00	
Planter Pots - Small	EA.	\$1,200.00	25	\$30,000.00	
Bench	EA.	\$2,000.00	4	\$8,000.00	
Tree Grates	EA.	\$2,000.00	2	\$4,000.00	
Trash Receptacles	EA.	\$800.00	6	\$4,800.00	
Wayfinding	ALLOW	\$1,500.00	1	\$1,500.00	
CATEGORY SUBTOTAL				\$52,800.00	
IRRIGATION					
Irrigation	ALLOW	\$2,500.00	1	\$2,500.00	Irrigation adjustments/improvements
CATEGORY SUBTOTAL				\$2,500.00	
				SUBTOTAL	\$161,860.00
				20% Masterplan Contingency	\$32,372.00
				15% Contractor Mobilization/General Conditions	\$24,279.00
				GRAND TOTAL	\$218,511.00
15th Street					
DEMOLITION					
Remove existing Concrete and Asphalt	S.F.	\$3.00	1,000	\$3,000.00	
Remove Curb & Gutter	L.F.	\$9.00	400	\$3,600.00	
Saw Cutting Pavement for Removal	L.F.	\$8.00	100	\$800.00	
CATEGORY SUBTOTAL				\$7,400.00	
SITE WORK					
4" Thk Concrete	S.F.	\$4.00	3,000	\$12,000.00	
CATEGORY SUBTOTAL				\$12,000.00	
LANDSCAPE					
Deciduous Tree	EA.	\$350.00	4	\$1,400.00	2" caliper
CATEGORY SUBTOTAL				\$1,400.00	
IRRIGATION					
Irrigation	ALLOW	\$1,500.00	1	\$1,500.00	Irrigation adjustments/improvements
CATEGORY SUBTOTAL				\$1,500.00	
				SUBTOTAL	\$22,300.00
				20% Masterplan Contingency	\$4,460.00
				15% Contractor Mobilization/General Conditions	\$3,345.00
				GRAND TOTAL	\$30,105.00



Sheridan Avenue Streetscape Master Plan

Estimate of Probable Costs

Plan Date: April 2012

Prepared by: Russell + Mills Studios

ITEM	UNIT	UNIT COST	QTY.	EXTENDED COST	NOTES
Sheridan Avenue Block 15					
North Side of Street					
DEMOLITION					
Remove existing Concrete and Asphalt	S.F.	\$3.00	5,000	\$15,000.00	
Remove Curb & Gutter	L.F.	\$9.00	220	\$1,980.00	
Saw Cutting Pavement for Removal	L.F.	\$8.00	370	\$2,960.00	
CATEGORY SUBTOTAL				\$19,940.00	
LIGHTING					
Pedestrian Light/Hanging Baskets	EA	\$12,000.00	3	\$36,000.00	
CATEGORY SUBTOTAL				\$36,000.00	
SITE WORK					
Grading Allowance	ALLOW	\$2,000.00	1	\$2,000.00	
Curb & Gutter	L.F.	\$20.00	320	\$6,400.00	
6" Concrete Edge	L.F.	\$15.00	300	\$4,500.00	
Unit Pavers	S.F.	\$7.00	2,300	\$16,100.00	
2.5' Unit Pavers Band	S.F.	\$7.00	800	\$5,600.00	
Seat Wall	F.F.	\$100.00	60	\$6,000.00	18" ht-sandstone faced
Parking Stripping	ALLOW	\$2,000.00	1	\$2,000.00	
CATEGORY SUBTOTAL				\$42,600.00	
LANDSCAPE					
Soil Prep - Compost and fertilizer as required	C.Y.	\$25.00	30	\$750.00	All planted areas - 6" depth
Mulch	C.Y.	\$35.00	15	\$525.00	Shredded Cedar - 3" depth
Shrubs/Grasses/Perennial	S.F.	\$6.00	1,600	\$9,600.00	
CATEGORY SUBTOTAL				\$10,875.00	
SITE FURNISHINGS					
Planter Pots - Large	EA.	\$1,500.00	4	\$6,000.00	
Planter Pots - Small	EA.	\$1,200.00	6	\$7,200.00	
Bench	EA.	\$2,000.00	2	\$4,000.00	
Trash Receptacles	EA.	\$800.00	6	\$4,800.00	
Wayfinding	ALLOW	\$1,500.00	1	\$1,500.00	
CATEGORY SUBTOTAL				\$22,000.00	
IRRIGATION					
Irrigation	ALLOW	\$3,000.00	1	\$3,000.00	Irrigation adjustments/improvements
CATEGORY SUBTOTAL				\$3,000.00	
SUBTOTAL				\$135,165.00	
20% Masterplan Contingency				\$27,033.00	
15% Contractor Mobilization/General Conditions				\$20,274.75	
GRAND TOTAL				\$182,472.75	
Sheridan Avenue Block 15					
South Side of Street					
DEMOLITION					
Remove existing Concrete and Asphalt	S.F.	\$3.00	2,400	\$7,200.00	
Remove Curb & Gutter	L.F.	\$9.00	140	\$1,260.00	
Saw Cutting Pavement for Removal	L.F.	\$8.00	300	\$2,400.00	
CATEGORY SUBTOTAL				\$10,860.00	
LIGHTING					
Pedestrian Light/Hanging Baskets	EA	\$12,000.00	3	\$36,000.00	
CATEGORY SUBTOTAL				\$36,000.00	
SITE WORK					
Grading Allowance	ALLOW	\$2,000.00	1	\$2,000.00	
Curb & Gutter	L.F.	\$20.00	220	\$4,400.00	
6" Concrete Edge	L.F.	\$15.00	210	\$3,150.00	
Unit Pavers	S.F.	\$7.00	2,100	\$14,700.00	

2.5' Unit Pavers Band	S.F.	\$7.00	600	\$4,200.00	
Seat Wall	F.F.	\$100.00	15	\$1,500.00	18" ht-sandstone faced
Parking Stripping	ALLOW	\$2,000.00	1	\$2,000.00	
CATEGORY SUBTOTAL				\$31,950.00	
LANDSCAPE					
Soil Prep - Compost and fertilizer as required	C.Y.	\$25.00	14	\$350.00	All planted areas - 6" depth
Mulch	C.Y.	\$35.00	7	\$245.00	Shredded Cedar - 3" depth
Deciduous Tree	EA.	\$350.00	2	\$700.00	2" caliper
Shrubs/Grasses/Perennial	S.F.	\$6.00	700	\$4,200.00	
CATEGORY SUBTOTAL				\$5,495.00	
SITE FURNISHINGS					
Planter Pots - Large	EA.	\$1,500.00	4	\$6,000.00	
Planter Pots - Small	EA.	\$1,200.00	5	\$6,000.00	
Bench	EA.	\$2,000.00	1	\$2,000.00	
Trash Receptacles	EA.	\$800.00	6	\$4,800.00	
Wayfinding	ALLOW	\$5,000.00	1	\$5,000.00	
CATEGORY SUBTOTAL				\$18,800.00	
IRRIGATION					
Irrigation	ALLOW	\$2,000.00	1	\$2,000.00	Irrigation adjustments/improvements
CATEGORY SUBTOTAL				\$2,000.00	
SUBTOTAL				\$107,605.00	
20% Masterplan Contingency				\$21,521.00	
15% Contractor Mobilization/General Conditions				\$16,140.75	
GRAND TOTAL				\$145,266.75	
16th Street					
DEMOLITION					
Remove existing Concrete and Asphalt	S.F.	\$3.00	1,000	\$3,000.00	
Remove Curb & Gutter	L.F.	\$9.00	240	\$2,160.00	
Saw Cutting Pavement for Removal	L.F.	\$8.00	100	\$800.00	
CATEGORY SUBTOTAL				\$5,960.00	
SITE WORK					
4" Thk Concrete	S.F.	\$4.00	3,000	\$12,000.00	
CATEGORY SUBTOTAL				\$12,000.00	
SUBTOTAL				\$17,960.00	
20% Masterplan Contingency				\$3,592.00	
15% Contractor Mobilization/General Conditions				\$2,694.00	
GRAND TOTAL				\$24,246.00	



Sheridan Avenue Streetscape Master Plan

Estimate of Probable Costs

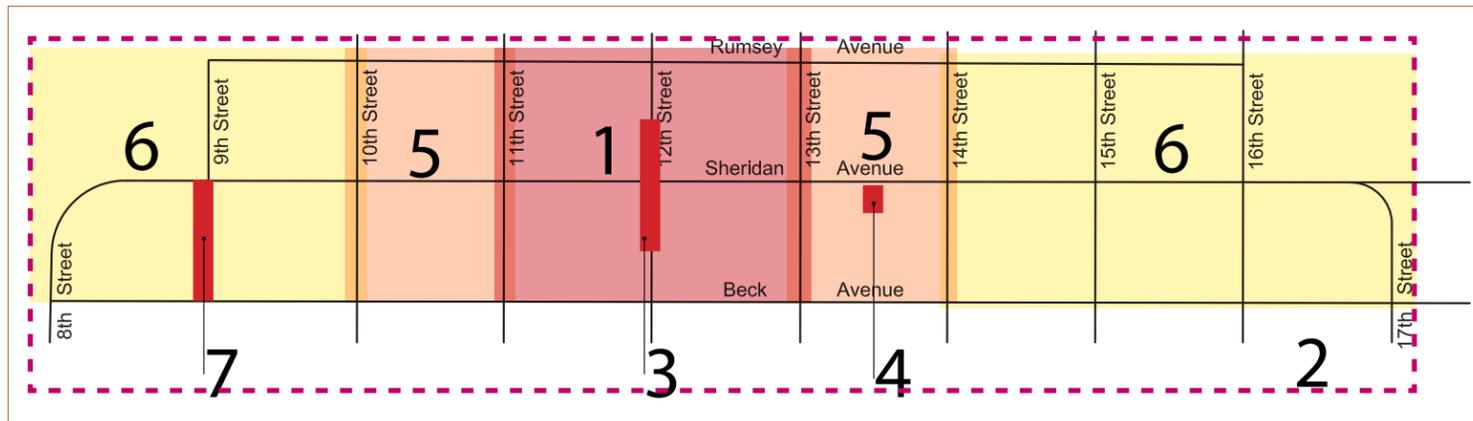
Plan Date: April 2012

Prepared by: Russell + Mills Studios

ITEM	UNIT	UNIT COST	QTY.	EXTENDED COST	NOTES
Sheridan Avenue Block 16					
North Side of Street					
DEMOLITION					
Remove existing Concrete and Asphalt	S.F.	\$3.00	3,900	\$11,700.00	
Remove Curb & Gutter	L.F.	\$9.00	300	\$2,700.00	
Saw Cutting Pavement for Removal	L.F.	\$8.00	300	\$2,400.00	
CATEGORY SUBTOTAL				\$16,800.00	
LIGHTING					
Pedestrian Light/Hanging Baskets	EA	\$12,000.00	10	\$120,000.00	
CATEGORY SUBTOTAL				\$120,000.00	
SITE WORK					
Grading Allowance	ALLOW	\$2,000.00	1	\$2,000.00	
Curb & Gutter	L.F.	\$20.00	340	\$6,800.00	
6" Concrete Edge	L.F.	\$15.00	270	\$4,050.00	
Unit Pavers	S.F.	\$7.00	2,200	\$15,400.00	
2.5' Unit Pavers Band	S.F.	\$7.00	365	\$2,555.00	
Parking Stripping	ALLOW	\$2,000.00	1	\$2,000.00	
CATEGORY SUBTOTAL				\$32,805.00	
LANDSCAPE					
Soil Prep - Compost and fertilizer as required	C.Y.	\$25.00	38	\$950.00	All planted areas - 6" depth
Mulch	C.Y.	\$35.00	19	\$665.00	Shredded Cedar - 3" depth
Shrubs/Grasses/Perennial	S.F.	\$6.00	2,000	\$12,000.00	
CATEGORY SUBTOTAL				\$13,615.00	
SITE FURNISHINGS					
Planter Pots - Large	EA.	\$1,500.00	4	\$6,000.00	
Planter Pots - Small	EA.	\$1,200.00	4	\$4,800.00	
Bench	EA.	\$2,000.00	2	\$4,000.00	
Trash Receptacles	EA.	\$800.00	6	\$4,800.00	
Wayfinding	ALLOW	\$11,000.00	1	\$11,000.00	
CATEGORY SUBTOTAL				\$30,600.00	
IRRIGATION					
Irrigation	ALLOW	\$3,000.00	1	\$3,000.00	Irrigation adjustments/improvements
CATEGORY SUBTOTAL				\$3,000.00	
SUBTOTAL				\$216,820.00	
20% Masterplan Contingency				\$43,364.00	
15% Contractor Mobilization/General Conditions				\$32,523.00	
GRAND TOTAL				\$292,707.00	
Sheridan Avenue Block 16					
South Side of Street					
DEMOLITION					
Remove existing Concrete and Asphalt	S.F.	\$3.00	3,400	\$10,200.00	
Remove Curb & Gutter	L.F.	\$9.00	280	\$2,520.00	
Saw Cutting Pavement for Removal	L.F.	\$8.00	50	\$400.00	
CATEGORY SUBTOTAL				\$13,120.00	
LIGHTING					
Pedestrian Light/Hanging Baskets	EA	\$12,000.00	8	\$96,000.00	
CATEGORY SUBTOTAL				\$96,000.00	
SITE WORK					
Grading Allowance	ALLOW	\$2,000.00	1	\$2,000.00	
Curb & Gutter	L.F.	\$20.00	335	\$6,700.00	
6" Concrete Edge	L.F.	\$15.00	270	\$4,050.00	
Unit Pavers	S.F.	\$7.00	2,000	\$14,000.00	
Parking Stripping	ALLOW	\$2,000.00	1	\$2,000.00	

		CATEGORY SUBTOTAL		\$28,750.00	
LANDSCAPE					
Soil Prep - Compost and fertilizer as required	C.Y.	\$25.00	38	\$950.00	All planted areas - 6" depth
Mulch	C.Y.	\$35.00	19	\$665.00	Shredded Cedar - 3" depth
Turf Grass	S.F.	\$0.75	4,000	\$3,000.00	
Shrubs/Grasses/Perennial	S.F.	\$6.00	2,000	\$12,000.00	
CATEGORY SUBTOTAL				\$16,615.00	
SITE FURNISHINGS					
Planter Pots - Large	EA.	\$1,500.00	4	\$6,000.00	
Planter Pots - Small	EA.	\$1,200.00	5	\$6,000.00	
Bench	EA.	\$2,000.00	1	\$2,000.00	
Trash Receptacles	EA.	\$800.00	6	\$4,800.00	
Wayfinding	ALLOW	\$5,000.00	1	\$5,000.00	
CATEGORY SUBTOTAL				\$23,800.00	
IRRIGATION					
Irrigation	ALLOW	\$6,000.00	1	\$6,000.00	Irrigation adjustments/improvements
CATEGORY SUBTOTAL				\$6,000.00	
SUBTOTAL				\$184,285.00	
20% Masterplan Contingency				\$36,857.00	
15% Contractor Mobilization/General Conditions				\$27,642.75	
GRAND TOTAL				\$248,784.75	





PHASING STRATEGY MAP

PHASING STRATEGIES

For a project such as a streetscape, the goal is to construct all of the improvements at one time in order to be most efficient and cost effective. This however is not always possible with undefined and/or limited funding available, therefore phasing strategies are necessary. In this instance phasing needs to be considered keeping the project goals in mind. Phasing strategies provide many options for construction by breaking the project into smaller components. While this is an effective tool for construction over time, it is important to remember that the design intent is defined by the combination of design elements that make up the overall environment.

The following proposed phasing strategies have been developed to provide a hierarchy for construction, pending funding for the project. Once funding is determined, a final phasing strategy can be explored in detail and phase one can be defined.

Phasing Strategy: Build the core and radiate out.

The following items present one strategy to install the new streetscape and associated improvements. The Phasing Strategy Map to the right illustrates the location of each phase.

- | | |
|--|--------------|
| 1. Install 11th Street to 13th Street. | \$ 1,377,876 |
| Option: If funding is available both gateways would be encouraged to be included in this initial phase to help set the stage for the downtown area. | |
| 2. Install all remainder wayfinding signage | \$ 72,500 |
| 3. Install 12th Street shared plaza | \$ 430,144 |
| 4. Install the community plaza at Bell Plaza. | \$ 137,228 |
| 5. Install 10th to 11th and 13th to 14th St Sheridan Avenue improvement and north/south streets | \$ 994,008 |
| 6. Install 10th to 8th St and 14th to 17th St on Sheridan Avenue and North/South streetscape improvements. (could also be broken down per block pending funding) | \$ 2,505,353 |
| 7. Install 9th Street Plaza | \$ 333,619 |



SECTION 6

Acknowledgements



ACKNOWLEDGEMENTS

CITY OF CODY MAYOR & COUNCIL

Nancy Tia Brown
MAYOR

Donny Anderson
Charles Cloud
Bryan Edwards
Jerry Fritz
Steve Miller
Stan Wolz
COUNCIL MEMBERS

COMMITTEE

Ev Diehl
Mike Darby
Jody Horvath
Scott Balyo
Bruce McCormick
James Klessens
Nancy Tia Brown, Mayor
Charles Cloud, City Council
Jenni Rosencranse, City Administrator
Rick Manchester, Director
Kim Borer
Brad Payne
Paul Brock
Lyle Lamb
Bob Newsome
Todd Stowell
Todd Frost
Donny Anderson, City Council

KICKOFF MEETING ATTENDEES

Steering Committee Members, City Council, and Mayor

Scott Balyo
Bob Newsome
Jody Horvath
Charles Cloud, City Council
Nancy Tia Brown, Mayor
Jenni Rosencranse, City Administrator
James Klessens
Brad Payne
Kim Borer
Jerry Fritz, City Council
Donny Anderson, City Council



City Of Cody Staff

Rick Manchester
Todd Stowell

WYDOT Staff

Todd Frost - WYDOT
Lyle Lamb - WYDOT

Media

Martin Kidston - Billings Gazette Wyoming Bureau
Mary Forney - Cody Enterprise

Consultants

Paul Mills - RMS
Craig Russell - RMS
Hal Hutchinson - WLC

SITE WALK-THROUGH ATTENDEES

Steering Committee Members, City Council & Mayor

Bob Newsome - Ishamooa Investments Inc & Cowtown Candy
Mayor Nancy Tia Brown
Jody Horvath

City Of Cody Staff

Rick Manchester
Todd Stowell

WYDOT Staff

Todd Frost - WYDOT
Lyle Lamb - WYDOT

Consultants

Paul Mills - RMS
Craig Russell - RMS
Hal Hutchinson - WLC

WORKSHOP 1 ATTENDEES

Mike Darby
Nancy Tia Brown, Mayor
Charles Cloud, City Council
Jenni Rosencranse, City Administrator
Rick Manchester, Director
Kim Borer
Paul Brock
Bob Newsome
Todd Stowell
Todd Frost
Donny Anderson, City Council
Love & Roger Murray
Kenny & Connie Lee

Terry Bartlett
Bob Brown
Klay Nelson
Heidi Hansen
Wes Allen
James Blair
Linda Raynolds
Paul Mills
Craig Russell
Peter Torrey
Carolyn Sharp
Jo Selk
John C. Darby
Theresa Gunn
John Housel

WORKSHOP 2 ATTENDEES

Mike Darby
Jody Horvath
Scott Balyo
James Klessens
Nancy Tia Brown, Mayor
Jenni Rosencranse, City Administrator
Rick Manchester, Director
Kim Borer
Paul Brock
Lyle Lamb
Bob Newsome
Donny Anderson, City Council
Love & Roger Murray
Kenny & Connie Lee
Bob Brown
Heidi Hansen
Linda Raynolds
Carolyn Sharp
Jo Selk
John C. Darby
Craig Russell
Paul Mills
John Housel
Anthony MacDonald
Ted & Teresa Bullock
Lisa & Keith Seidel
Sue Gallagher
Althea Stringari
Doug Nordber
Ede Dozier
Talbot Hauffe, WYDOT

CONSULTANT TEAM

MASTER PLANNER

Russell + Mills Studios Inc

ENGINEER

WLC Inc

APPENDIX A

Visual Preferencing Exercise Results



Visual Preferring Exercise

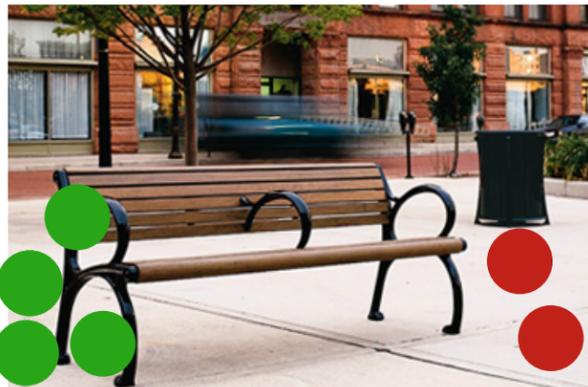
Attendees were invited to participate in a visual preferring exercise. Each person was provided with 6 green dots, and 6 red dots, which they could place on images of items they liked (green dots) or disliked (red dots), followed by a group discussion. Notes for each discussion are provided by category.



Traditional steel bench



Traditional wood bench



Traditional wood bench



Traditional wood bench



Molesworth furniture



Backed steel bench



Rustic wood bench



Rustic wood bench

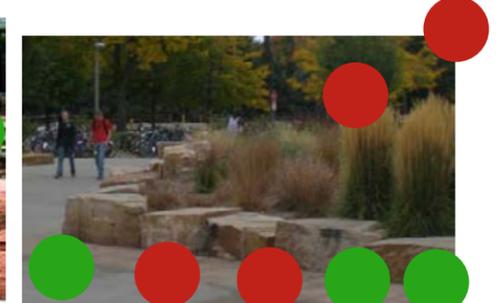
Workshop Discussion Notes

Benches

- Wood presents maintenance issues although certain hardwoods have a longer life in high altitude climates.
- Artistic benches desired, although wooden benches with a back rest and a western feel are preferred.
- Stone benches/seat walls with cut stone desired.
- Western and Casual feel, flexible.
- Ensure skateboarding is prohibited.



Stone seatwall



Boulder seatwall



Stone boulder bench



Brick seatwall

Seatwalls

Benches





Pavers with patterned stonework



Historic paver inlays



Sandblasted downtown map



Colored concrete in brick paver banding



Traditional pavers in concrete banding



Sandblasted quotes in concrete

Pavement Sandblasting



Sandblasted thematic elements in concrete



Traditional paving with banding



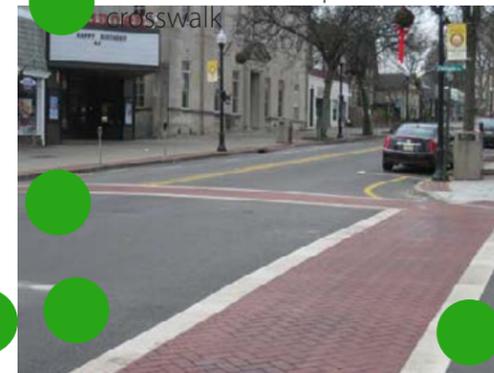
Concrete pavers



Colored and stamped concrete crosswalk



Colored and stamped concrete crosswalk



Painted and stamped asphalt crosswalk



Stamped asphalt crosswalk

Crosswalks

Pavement

Workshop Discussion Notes

- Pavers- Not too formal.
- Crosswalk - red concrete is not wanted.
- Sandblasting - western characters and quotes should be included.
- Historically important, keep history alive.
- Rustic and casual. Not too formal.

Sheridan Avenue Streetscape Master Plan

Visual Preferences - Paving and Crosswalks



Workshop Discussion Notes

- Lighting currently too bright, needs to be toned down.
- LED lighting desired.
- Cut-off lighting is preferred with a traditional and/or historic look.
- There used to be an old clock downtown. A clock is wanted but must look historic in theme and match existing lights.



Full cut off light



Festive lighting of plazas



Clocks



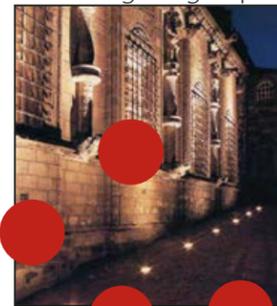
Traditional lighting style



Pedestrian level lighting



In-paving lighting



String lighting

Lighting



Workshop Discussion Notes

- Hanging baskets are problematic with winds. Design team mentioned they could be fixed to pole.
- The use of irrigation would be need to result in the reduction of ongoing maintenance (hand watering). Irrigation can go through light poles to supply water to hanging baskets.
- Planted pots desired as there are existing pots in the streetscape (provided by business owners).
- Street trees desired.



Street tree



Street trees



Planting on public/private edge



Low planting in bulb outs/corners

Bed Planting & Street Trees



Planters against buildings



Raised planters and hanging baskets



Concrete planter pots



Raised planters



Wood planters
Planters



Double hanging basket on light pole



Single basket on light pole

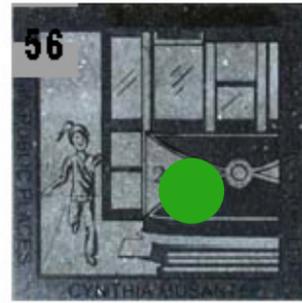


Workshop Discussion Notes

- Sculptures are desired - traditional and patriotic in nature.
- The flags are an important element of the streetscape that should remain in some form.
- Wayfinding signage is needed.



Interactive art elements



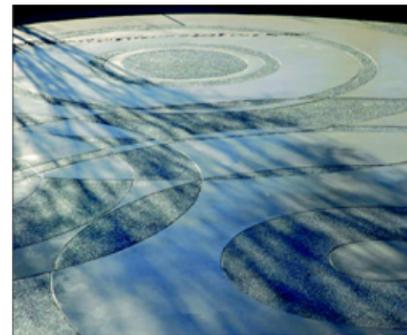
Etched granite pavers



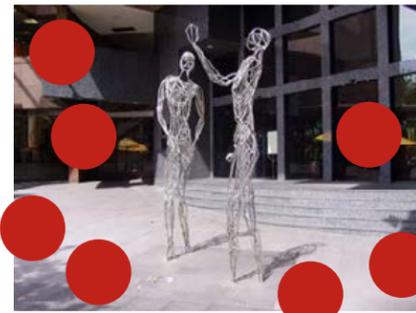
Sculpture



Temporary art displays



Artistic elements in pavement



Sculpture



Permanent changeable art displays



Integral architecture art displays



Etched granite pavers



Upright image poles of destinations



Image and information signage of destinations



Directional signage on poles



Directional signage



Directional signage on poles



Signage families - pedestrian and auto



Information kiosk



Information kiosk

Public Art

Wayfinding

Sheridan Avenue Streetscape Master Plan

Visual Preferences - Art and Wayfinding



Workshop Discussion Notes

- Sidewalks, clear area and WYDOT requirements currently limit business owners.
- The 5' pedestrian clear zone, car door swing zones, lights and other obstructions need to be examined to determine if there is a configuration that would provide more space business'.



Bulb outs



Space for street vendors or performers



Bulb outs create space for tables and chairs



Enclosed tables



Seating alcoves



Open tables



Furnishings



Street trees, signage



Small private tables, street trees



Street trees, seating

Streetscapes

Bulb Outs



Workshop Discussion Notes

- Idea of smaller performance spaces desired but overall aesthetic must reflect Cody.
- A community plaza desired.



Community plaza



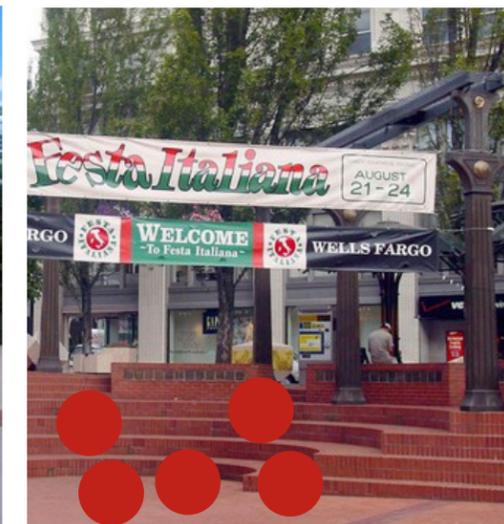
Community plaza with amphitheater



Community plaza with cafe style seating



Community plaza



Community plaza with amphitheater



Community plaza

Community Plazas/Small Gathering Spaces

